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JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

PD-R23-0003
FILE # ~~23-0003~~

PLANNED DEVELOPMENT

ASSESSOR'S PARCEL NO.(s) 117-160-064-000

PROJECT NAME/REQUEST: (Describe proposed use) The project proposes to construct the third phase of a storage facility which is currently in operation on the subject property.

IF SUBDIVISION/PARCEL MAP: Create _____ lots, ranging in size from _____ to _____ acre(s) / SF

IF ZONE CHANGE: From _____ to _____ IF GENERAL PLAN AMENDMENT: From _____ to _____

IF TIME EXTENSION, REVISION, CORRECTION: Original approval date _____ Expiration date _____

APPLICANT/AGENT David Kindelt

Mailing Address 4120 Douglas Blvd., Ste. 306-524 Granite Bay CA 95746-5936
P.O. Box or Street City State & Zip
Phone (916) 768-6160 EMAIL: dave@superiorstoragegroup.com

PROPERTY OWNER Alleghany Storage Group, ELK 1 Ventures LLC, Valley Star Partners LLC

Mailing Address 4120 Douglas Blvd., Ste 306-524 Granite Bay CA 95746-5936
P.O. Box or Street City State & Zip
Phone (916) 768-6160 EMAIL: dave@superiorstoragegroup.com

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Ariel Valli

Mailing Address 924-D Coyote Gulch Ct Ivins UT 84738
P.O. Box or Street City State & Zip
Phone (949) 813-4191 EMAIL: ariel.valliarch.com@outlook.com

LOCATION: The property is located on the Southwest Quadrant side of Latrobe Rd & Town Center Blvd
SELECT ONE N / E / W / S street or road

_____ feet/miles SELECT ONE of the intersection with _____
N / E / W / S major street or road

in the _____ area. PROPERTY SIZE 14.8 acres
acreage / square footage

X [Signature] Date 7/19/2023
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 7/21/23 Fee \$ 2,171.00 Receipt # R48190 Rec'd by ADP Census _____
Zoning CG GPD AP Supervisor Dist 1 Sec 11 Twn 9 Rng 8

ACTION BY PLANNING COMMISSION
ZONING ADMINISTRATOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____
findings and/or conditions attached

Approved _____ Denied _____
findings and/or conditions attached

APPEAL: Approved _____ Denied _____

Executive Secretary _____

PD-R23-0003

Revised 11/2017



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REQUIRED SUBMITTAL INFORMATION

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. **If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted.** For your convenience, please use the check () column on the left to be sure you have all the required and applicable information. **All plans and maps MUST be folded to 8½" x 11".**

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- 1) Application form, completed and signed.
- N/A N/A 2)? Letter of authorization from all property owners authorizing agent to act as applicant, when applicable. *Although may need this if Grant Deed doesn't show individual's name.*
- N/A N/A 3) Proof of ownership (Grant Deed), if the property has changed title since the last tax roll.
- 4) A copy of official Assessor's map, showing the property outlined in red.
- 5) An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites.
- 6) Environmental Questionnaire form, completed and signed.
- 7) Provide name, mailing address and phone number of all property owners and their agents.
- 8) A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 6000 J Street, Adams Bldg, #103, Sacramento, CA 95819-6100, phone number (916) 278-6217. If the record search identifies a need for a field survey, a survey shall be required. (A list of Archaeological Consultants and survey requirements is available at the Planning Department.) Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors, available at the Planning Department.

PD-R23-0003

FORMS AND MAPS REQUIRED

Check (✓) Applicant	County	
N/A	✓	9) A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Services website under "Applications and Forms". <i>- Has TIS-ID form been sent to DOT?</i>
N/A	_____	10)? If public sewer or water service is proposed, obtain and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district. <i>- 2 unit for TAC</i>
N/A	_____	11)? If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology. <i>- 2 unit for TAC</i>
N/A	N/A	12) In an accompanying report, provide the following data for area on each proposed parcel which is to be used for sewage disposal: <ul style="list-style-type: none"> a) The percolation rate and location of test on 4.5 acres or smaller b) The depth of soil and location of test c) The depth of groundwater and location of test d) The direction and percent of slope of the ground e) The location, if present, of rivers, streams, springs, areas subject to inundation, rock outcropping, lava caps, cuts, fills, and easements f) Identify the area to be used for sewage disposal g) Such additional data and information as may be required by the Division Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control
N/A	N/A	13) Preceding parcel map, final map, or record of survey, if any exists.
✓	✓	14) Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of <u>cut and fills</u> (for roads and driveways where cuts/fills exceed 6 feet, and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. (See Section 15.14.240 of County Grading Ordinance for submittal detail) <i>- cut/fill needed?</i>

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- | | | |
|------------|----------------|---|
| <u>N/A</u> | <u>N/A</u> 15) | If located within one of the five Ecological Preserve - EP overlay zones (Mitigation Area 0), rare plants may exist on-site. The State Department of Fish & Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish & Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. (A list of possible Botanical Consultants is available at Planning Services.) |
| <u>N/A</u> | <u>N/A</u> 16) | Name and address of Homeowner's Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area. |
| <u>N/A</u> | <u>N/A</u> 17) | A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. (Available from Planning Services are the U.S. Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.) |
| <u>N/A</u> | <u>N/A</u> 18) | An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with standards set forth in the General Plan. |
| <u>N/A</u> | <u>N/A</u> 19) | Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats. |
| <u>N/A</u> | <u>N/A</u> 20) | An air quality impact analysis shall be provided utilizing the El Dorado County Air Pollution Control District's "Guide to Air Quality Assessment." |

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e. cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

FORMS AND MAPS REQUIRED

Check (✓)		
<u>Applicant County</u>		
<u>N/A</u>	<input checked="" type="checkbox"/> (1)	Oak Resources Code Compliance Certificate.
<u>N/A</u>	<input checked="" type="checkbox"/> 2)	Oak Resources Technical Report prepared by a Qualified Professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.
<u>N/A</u>	<input checked="" type="checkbox"/> 3)	Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.
<u>N/A</u>	<input checked="" type="checkbox"/> 4)	Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention and Section 130.30.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).
<u>N/A</u>	<input checked="" type="checkbox"/> 5)	Reason and objective for Impact to oak trees and/or oak woodlands.

SITE PLAN REQUIREMENTS

Five (5) copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. **All plans MUST be folded to 8½" x 11", plus one 8½" x 11" reduction. NO ROLLED DRAWINGS WILL BE ACCEPTED.** For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

FORMS AND MAPS REQUIRED

Check (✓)		
<u>Applicant County</u>		
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> 1)	Project name (if applicable).
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> 2)	Name, address of applicant and designer (if applicable).
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> 3)	Date, north arrow, and scale.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> 4)	Entire parcel of land showing perimeter <u>with dimensions.</u> <i>- On separate sheet near back of plan set</i>

FORMS AND MAPS REQUIRED

Check (✓)	Applicant	County	
✓	✓		5) All roads, alleys, streets, and their names.
✓	✓		6) Location of easements, their purpose and width.
✓	✓		7) All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.).
✓	✓		8) Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.18).
✓	✓		9) Trash and litter storage or collection areas, and propane tank location(s).
✓	✓		10) Total gross square footage of proposed buildings.
✓	✓		11) Proposed/existing fences or walls.
✓	✓		12) Sign locations and sizes (if proposed) (refer to Zoning Ordinance Chapter 130.16). <i>- any new signs proposed?</i>
✓	✓		13) Pedestrian walkways, courtyards, etc. (if proposed).
✓	✓		14) Exterior lighting plan (if proposed), along with a Photometric Study and fixture specifications demonstrating compliance with Zoning Ordinance Chapter 130.14.170.
N/A	N/A		15) Existing/proposed water, sewer, septic systems, and wells (if applicable). <i>Don't see this on plans? & some items on landscape plan sheet only</i>
✓	✓		16) Existing/proposed fire hydrants.
N/A	N/A		17) Tentative subdivision or parcel map (if applicable).
✓	✓		18) Adjacent parcel owner(s); Assessor's Parcel Number (unless this is included on tentative map). <i>- Only includes the adjacent parcel owner -> on separate sheet near back of packet</i>
N/A	N/A		19) Public uses (schools, parks, etc.)
N/A	N/A		20) The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.)

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- N/A N/A 21) Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. (Refer to the Federal Emergency Management Agency (FEMA) website).
- N/A N/A 22) Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems.

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. (Refer to Zoning Ordinance Chapter 130.18). (Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction**).

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- ✓ ✓ 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Section 130.18.090)
- N/A N/A 2) Note quantity/type of trees to be removed.
- N/A N/A 3) Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed/affected by proposed improvements. Note quantity of trees to be removed.
- ✓ ✓ 4) List of both common and botanical names of plant material (use of drought tolerant species is highly recommended). A recommended list of drought-tolerant species is available at Planning Services.
- ✓ ✓ 5) Location of irrigation proposed. (NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available at Planning Services).

PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed. (Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction**).

FORMS AND MAPS REQUIRED

Check (✓) Applicant	County	
✓	✓	1) Contours or slope data (pursuant to Chapter 110.14 of County Code Grading, Erosion, and Sediment Control Ordinance).
✓	✓	2) Drainage improvements, culverts, drains, etc.
N/A	✓	3) Limits of cut and fill.

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed. (Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction**).

FORMS AND MAPS REQUIRED

Check (✓) Applicant	County	
✓	✓	1) Building design, elevations of all sides.
✓	✓	2) Exterior materials, finishes, and colors.
✓	✓	3) Existing/proposed signs showing location, height and dimensions. Include sign plan for project with multiple businesses. <i>- I see sign locations identified, but no sign sheet or identified sign areas</i>

Planning Services reserves the right to require additional project information as provided by Section 15060 of the California Environment Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.



EL DORADO COUNTY PLANNING & BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone (530) 621-5355, Fax (530) 642-0508

Date: August 10, 2023
To: David Kindelt
From: Matthew Aselage, Associate Planner

Subject: PD-R23-0003 Superior Self-Storage Phase Three Expansion

Staff has reviewed the PD-R23-0003 application file and has found the file to be incomplete for further processing at this time.

1. A Conditional Use Permit Revision (CUP-R) application would be needed. A CUP-R application can be submitted and reviewed at the same time as the Planned Development Revision request. To process the whole expansion request, the county needs a Conditional Use Permit Application file and fee payment (*form and fee schedule attached alongside this letter*); - *not needed*
2. The County needs a detailed project description which describes the proposed expansion in paragraph form;
3. A letter of authorization from all property owners authorizing agent to act as applicant, if applicable (it appears that the owner is a corporation; at minimum, planning would need a document showing the corporate ownership in the hands of the stated agent, David Kindelt);
4. A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento. *Phone number (916) 278-6217;*
5. Completion of an Oak Resources Certificate (*form attached alongside this letter*);
8. The site plan sheets are missing the following:
 - a. Entire parcel of land showing the whole perimeter including dimensions.
 - b. Areas for building attached signage is shown on elevation plans; if any new monument or ground based signage is proposed, please include the location(s) on the project site plan sheet. Otherwise, a confirmation of no new ground-based signage is proposed within the project description will suffice.
 - c. Fencing and retaining walls are shown on the landscape plan sheets. Any fencing and walls should also be shown on the project site plan sheet.
 - d. The project site plan sheet should show all adjacent parcel owners and Assessor's Parcel Numbers, including parcels directly across an adjacent roadway;
9. The Grading and Drainage plan sheets do not include the limits of cut and fill clearly listed (this could be provided as part of the project description rather than updating the full grading plan to include this item);
10. The Plan of Building Elevations does not provide a separate signage plan sheet. Signage plans must include existing (if they will remain on site) and proposed signs showing the location, height, and dimensions of each sign. It is preferred to include the actual signage proposal; however, it is acceptable to provide a general size outline. A tentative signage

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outline would at least provide a baseline for signage review – in this case, actual signage plans would be reviewed and approved during building permit review.

This list may not be fully exhaustive as some items may not be known to be needed until further review by various agencies can commence. If any additional items should be required, a separate notice will be issued at that time.

Kind regards,



Matthew Aselage
Associate Planner

JUL 21 2023



EL DORADO COUNTY
COMMUNITY DEVELOPMENT AGENCY

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

AGREEMENT FOR PAYMENT OF PROCESSING FEES

PD-R23-0003

~~PA22-0014~~

Project/Facility Number

Alleghany Storage Group

Business or Name of Financially Responsible Party

the FINANCIALLY RESPONSIBLE PARTY (hereinafter FRP), agrees as follows:

1. This project/facility is subject to time and materials method of billing or raises issues that may require significant staff and/or consultant time which might not be covered by the initial processing deposit/fee detailed in the approved Board of Supervisors Community Development Agency Consolidated Fee Schedule, and other County department fee schedules as applicable, as amended from time to time. Therefore, the FRP for this project will be billed at the approved rate for time and materials for the processing of this project. The fee initially collected will be a deposit toward subsequent billings.
2. Accounting of time spent on the project and/or applicable fees will be detailed in a statement/invoice sent to the FRP.
3. The FRP is responsible for payment of all permit processing costs and/or applicable fees associated with this project/facility. If payment is not received within 90 days of the date of an invoice, the County may elect to stop work and close the file. The County may require a new application and/or new deposit before resuming processing of the project. Projects with an outstanding balance due on their account that are not paid in full by the scheduled appearance on the Planning Commission, Zoning Administrator, or Board of Supervisors agenda will not proceed until after any balance due is paid.
4. If during the course of processing, the FRP changes, the new FRP must complete an Agreement for Payment, which will release the previous FRP from further financial obligations and designate the new FRP.
5. The FRP understands and agrees that if the FRP owes any overdue balance for processing a project/permit of more than 90 days, Community Development Agency will not accept any subsequent applications from the FRP until the outstanding balance due is paid.
6. FRP agrees to pay any and all remaining fees applicable under the approved Board of Supervisors Community Development Agency Consolidated Fee Schedule, and any other fees associated with the processing of the project that may be charged by County Departments outside of the Community Development Agency, prior to map clearance for recordation or clearance for record of survey or issuance of any building or grading permits or any other permits under authority of the Community Development Agency. No clearances or permits will be issued without receipt of full payment of fees applicable under the approved Board of Supervisors Community Development Agency Consolidated Fee Schedule, or any other fees associated with the processing of the project that may be charged by County Departments outside of the Community Development Agency, unless waived or adjusted in accordance with County Board of Supervisors Policy B-2.

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Project/Facility No. ~~PA22-0014~~

EL DORADO COUNTY
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- 7. If the FRP appeals a decision on this project/facility, the costs of processing the appeal will be charged to the FRP pursuant to the fees applicable under the approved Board of Supervisors Community Development Agency Consolidated Fee Schedule, and other County department fee schedules as applicable, at the time of Appeal.
- 8. If payment is not received within 90 days of said statement/invoice, collection will be initiated. Unpaid balances turned over to County Revenue Recovery will be assessed an additional fourteen percent (14%).
- 9. A processing fee will be charged for any check returned for insufficient funds, up to the maximum allowed by the State of California.

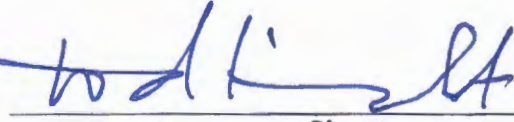
Executed this 20th day of July 2023

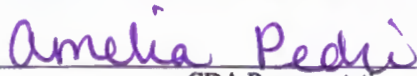
FINANCIALLY RESPONSIBLE PARTY

Business/ Name Alleghany Storage Group Representative Name David Kindelt

4120 Douglas Blvd., Ste. 306-524
Street Address

Granite Bay CA 95746
City State Zip

FINANCIALLY RESPONSIBLE PARTY/Representative: 
Signature

Reviewed by: 
CDA Representative

CHANGE OF FINANCIALLY RESPONSIBLE PARTY (FRP)

If this document supersedes a previous Agreement for Payment, due to change in financial responsibility, the previous FRP must also sign to acknowledge release of responsibilities. Upon project completion, any remaining deposit will be refunded to the FRP currently on record.

PREVIOUS FINANCIALLY RESPONSIBLE PARTY:

Print Name Signature

Street City State Zip

Date of release of financial responsibility: _____

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

McDermott, Will & Emery LLP
2049 Century Park East, Suite 3800
Los Angeles, CA 90067
Attn: Lynn Anne Shapiro, Esq.
(46314-75)

20149004644800015
El Dorado, County Recorder
William Schultz Co Recorder Office
DOC 2014-0046448-00
Acct 1045-First American Title Ins Co
Friday, NOV 14, 2014 13:09:43
Ttl Pd \$57.00 Nbr-0001642210
CLG/C1/1-15

RECORDING REQUESTED BY
FIRST AMERICAN TITLE INSURANCE CO.
NATIONAL COMMERCIAL SERVICES

546432

Space Above This Line for Recorder's Use Only

EASEMENT AGREEMENT
(Access)

THIS EASEMENT AGREEMENT (this "Agreement") is dated as of November 14, 2014, by and between TPC/VPD VENTURE I, LLC, a California limited liability company ("Parcel 1 Owner"), and El Dorado Hills Retirement Residence Limited Partnership, a Washington limited partnership ("Parcel 2 Owner"). Parcel 1 Owner and Parcel 2 Owner are sometimes collectively referred to as the "Parties" or individually as a "Party."

RECITALS

A. Parcel 1 Owner owns certain real property located in El Dorado County, California, and legally described on Exhibit A attached hereto and made a part hereof ("Parcel 1").

B. Parcel 2 Owner owns certain real property located in El Dorado County, California, and legally described on Exhibit B attached hereto and made a part hereof ("Parcel 2").

C. Parcel 2 Owner desires to obtain an easement for the benefit of Parcel 2 for ingress, egress and access over and across that portion of Parcel 1 described and depicted on Exhibit C attached hereto and made a part hereof (the "Easement Area"), and Parcel 1 Owner agrees to grant such easement over the Easement Area to Parcel 2 Owner on the terms and conditions of this Agreement.

NOW, THEREFORE, in consideration of the mutual agreements, covenants and conveyances herein contained, and other good and valuable consideration, the receipt and sufficiency of which the Parties acknowledge, the Parties agree as follows:

1. Parcel 2 Easement. Parcel 1 Owner grants and conveys to Parcel 2 Owner and all occupants, tenants, licensees, customers, employees, agents, guests and invitees of Parcel 2 Owner (collectively, the "Parcel 2 Parties"), a perpetual, non-exclusive easement appurtenant to Parcel 2 in, on and over the Easement Area for pedestrian and vehicular traffic, and the right and privilege to use the Easement Area in common with Parcel 1 Owner and its occupants, tenants, licensees, customers, employees, agents, guests and invitees (collectively, the "Parcel 1 Parties"), for the purpose of ingress and egress to and from Parcel 2 and the public street known as Town Center Boulevard and the other uses, rights and activities granted and permitted under this Agreement (the "Easement").

2. Parcel 2 Construction. Parcel 1 Owner grants Parcel 2 Owner the right to access and use the Easement Area to perform usual and customary improvements and upgrades to the road in the Easement Area and other construction related activities in connection with Parcel 2 Owner's development, use and ownership of Parcel 2, including, but not limited to, installing curb cuts and other

improvements providing pedestrian and vehicular access to and from Parcel 2 and the Easement Area subject to the prior written approval of the Parcel 1 Owner which approval shall not be unreasonably withheld, conditioned or delayed (collectively, "Construction Activities"). During any Construction Activities on the Easement Area, Parcel 2 Owner shall name Parcel 1 Owner as an additional insured on Parcel 2 Owner's liability insurance policies, and shall cause all of Parcel 2 Owner's contractors performing the Construction Activities to name Parcel 1 Owner as an additional insured on such contractors' required insurance policies. Parcel 2 Owner shall deliver or cause to be delivered to Parcel 1 Owner certificates evidencing such coverage prior to or concurrent with commencement of Construction Activities in the Easement Area. All Construction Activities and any improvements made or installed in connection with the same shall conform to all requirements under any applicable conditions, covenants and restrictions of record, including, but not limited to, those applicable to Town Center Boulevard.

3. Use and Maintenance.

(a) Neither Party shall unreasonably prevent, hinder or interfere in any way with the free flow and passage of vehicular and pedestrian traffic to and over the Easement Area or to and from Parcel 1 or Parcel 2, except as and to the extent reasonably necessary to complete construction, repair and maintenance work required or permitted under this Agreement (collectively, "Work") and for traffic regulation and control activities reasonably necessary in connection with the use of and activities on the Easement Area by the Parties in accordance with this Agreement (the Work and such activities, collectively, "Activities").

(b) Following completion of any Work by a Party, such Party shall remove or cause to be removed all debris, equipment and excess materials from the Easement Area and leave the same in a good, safe and clean condition.

(c) Parcel 1 Owner shall cause the Easement Area to be and remain in good and safe condition and repair at all times, and Parcel 2 Owner shall reimburse Parcel 1 Owner for 50% (the "Parcel 2 Share") of the actual and documented direct costs (with no allocation of overhead, administrative fees, employee benefit costs, taxes or other indirect costs, the "Actual Costs") thereof in accordance with Section 3(e)(e). Notwithstanding the provisions of Section 7, if the condition of the Easement Area poses an immediate and material danger to people or property, Parcel 2 Owner shall have the right to complete all necessary repair and maintenance Work at the Easement Area, in which case Parcel 1 Owner shall reimburse Parcel 2 Owner for 50% of the Actual Costs thereof within 30 days after receipt of written notice and an itemized invoice therefor.

(d) Parcel 1 Owner shall prepare an annual (i) itemized list of and schedule for (a "Proposed Work Plan") the Work with respect to the maintenance and repair obligations of Parcel 1 Owner under Section 3(c) ("Maintenance Work"), and (ii) budget for the estimated Actual Costs of such Maintenance Work (a "Proposed Budget"). Parcel 1 Owner shall deliver to Parcel 2 Owner a Proposed Work Plan and Proposed Budget for the subsequent year no later than each November 15th. Each Proposed Work Plan and Proposed Budget shall be subject to the prior written approval of Parcel 2 Owner, which approval shall not be unreasonably withheld, conditioned or delayed (as so approved, "Work Plan" and "Budget" respectively).

(e) Parcel 2 Owner shall reimburse Parcel 1 Owner for the Parcel 2 Share of Actual Costs of Maintenance Work performed pursuant to a Work Plan and Budget within 30 days after receipt of written notice and an itemized invoice with supporting documentation therefor.

4. Compliance with Law and Indemnification.

(a) Parcel 1 Owner and Parcel 2 Owner covenant and agree to comply with all applicable laws, rules, regulations and requirements with respect to this Agreement, the Easement Area and their respective activities thereon and in connection therewith.

(b) Except to the extent arising out of the gross negligence or willful misconduct of any Parcel 1 Party, Parcel 2 Owner indemnifies and agrees to defend and hold Parcel 1 Owner harmless from and against all claims, demands, losses, damages, liabilities, obligations, costs and expenses and all suits, actions, proceedings and judgments (including, but not limited to, reasonable attorneys' fees) arising out of or in any way related to or in connection with (i) the use of the Easement Area by the Parcel 2 Parties, (ii) the breach of any representation or warranty of Parcel 2 Owner in this Agreement, (iii) the default by Parcel 2 Owner under this Agreement, and (iv) Parcel 2 Owner's Work and Activities on the Easement Area.

(c) Except to the extent arising out of the gross negligence or willful misconduct of any Parcel 2 Party, Parcel 1 Owner indemnifies and agrees to defend and hold Parcel 2 Owner harmless from and against all claims, demands, losses, damages, liabilities, obligations, costs and expenses and all suits, actions, proceedings and judgments (including, but not limited to, reasonable attorneys' fees) arising out of or in any way related to or in connection with (i) the use of the Easement Area by the Parcel 1 Parties, (ii) the breach of any representation or warranty of Parcel 1 Owner in this Agreement, (iii) the default by Parcel 1 Owner under this Agreement, and (iv) Parcel 1 Owner's Work and Activities on the Easement Area.

5. Covenants Running with Land. The Easement and the rights and obligations of the Parties under this Agreement shall run with each of Parcel 1 and Parcel 2 and shall be binding on and inure to the benefit of Parcel 1 Owner and Parcel 2 Owner and their respective successors and assigns. Nothing herein shall be deemed to be a gift or dedication to the general public or for a public purpose whatsoever, it being the intention of the Parties that this Agreement and the Easement be strictly limited to the purposes herein expressed and to the Parties hereto.

6. Warranty of Title and Quiet Enjoyment. Parcel 1 Owner warrants that it is the sole owner of fee simple title to Parcel 1, subject to no encumbrances that will interfere with the use and enjoyment of the Easement. Each of Parcel 1 Owner and Parcel 2 Owner represents and warrants that it has all requisite authority to enter into this Agreement and perform its obligations hereunder.

7. Self Help and Other Remedies. If any Party defaults in the performance of its obligations hereunder and the default is not cured within ten business days following delivery of written notice to such defaulting Party, or if such default cannot be cured within such period, then within the amount of time reasonably necessary to effect such cure provided that the defaulting Party is diligently pursuing the same, then the non-defaulting Party shall have the right (a) to perform such obligation on behalf of the defaulting Party, in which event such defaulting Party shall reimburse such non-defaulting Party for all amounts expended by the non-defaulting Party in curing such default and performing such obligation, together with interest thereon at the lesser of 12% per annum or the maximum amount permitted by applicable law from the date the amounts are expended until the date repaid; and (b) to exercise any other rights or remedies available to the non-defaulting Party either at law or in equity. The defaulting Party shall execute any applications for permits or other documents reasonably required by the non-defaulting Party in order to perform the obligations of the defaulting Party, if any. Notwithstanding the foregoing, neither Party shall have lien rights over the other Party's parcel by reason of any default hereunder, and this Agreement confers no such lien rights. Upon ten days prior written notice from a Party, the other Party shall deliver a customary written estoppel certificate to the requesting Party and any third parties such Party reasonably requests stating (i) that this Agreement is in full force and effect and unmodified, or

if modified, describing such modifications, (ii) that this Agreement is the complete agreement between the Parties with respect to the subject matter herein described, (iii) whether such Party has sent any notice of default to, or received any notice of default from, the other Party, and if so, the nature and status of such default, (iv) whether, to the knowledge of such Party, there exists any event which with the passage of time or giving of notice, or both, would constitute a default under this Agreement, (v) whether there are any amounts due or credit balances hereunder, and (vi) such other matters as the requesting Party may reasonably request.

8. Injunctive Relief. In the event of a breach by a Party of any obligation of such Party under this Agreement, the non-defaulting Party shall be entitled to injunctive relief mandating compliance herewith and shall be entitled to obtain a decree specifically enforcing the performance of the obligations hereunder. The Parties acknowledge and stipulate the inadequacy of legal remedies other than specific performance and the irreparable harm which would be caused by the breach of this Agreement, and that the non-defaulting Party shall be entitled to relief by any and all other available legal and equitable remedies from the consequences of such breach.

9. Non-Waiver. No delay or omission by a Party hereto in the exercise of any rights created hereunder shall impair such right, or be construed to be a waiver thereof, and every such right may be exercised at any time upon the occurrence and during the continuance of an event of default hereunder. A waiver by a Party of a breach of, or default in, any of the terms and conditions of this Agreement by the other Party must be in writing and shall not be construed to be a waiver of any subsequent breach or of any other provision of this Agreement. Except as otherwise specifically provided herein, no remedy provided in this Agreement shall be exclusive, but shall be cumulative with all other remedies provided for in this Agreement and all other remedies at law or in equity which are available to the Parties.

10. Attorneys' Fees. If either Party brings an action to enforce this Agreement or its rights hereunder, the prevailing Party in such action shall be entitled to receive all costs and reasonable attorneys' fees in addition to any damages to which it is due by reason of such action.

11. Notices. All notices required or permitted to be delivered hereunder shall be in writing and shall be delivered by (a) a nationally recognized overnight express carrier, delivery charges prepaid and signature required, (b) U.S. postal service registered or certified mail, postage prepaid and return receipt requested, or (c) facsimile or electronic mail with an original to follow by one of the aforesaid methods. If sent by overnight express carrier, such notice shall be effective on the next business day immediately following the day sent; if sent by U.S. mail, such notice shall be effective four business days after the date of deposit in the U.S. mail; and, if sent by facsimile or electronic mail, such notice shall be deemed effective on the business day when sent, unless sent or received on or after 5:00 p.m. (recipient's time) and then on the next business day. Refusal of delivery shall be deemed delivery. All notices shall be addressed as follows:

To Parcel 1 Owner:

TPC/VPD Venture 1, LLC
Attn: Kristen E. Pigman
2481 Sunrise Blvd., Suite 200
Gold River, CA. 95670
Email: kris@thepigmancompanies.com

To Parcel 2 Owner:

c/o Hawthorn Development, LLC
2264 McGilchrist Street SE, Suite 210
Salem, OR 97302
Attn: Robin R. Goins
Fax: (503) 371-2295
Email: Robin.Goins@HawthornRet.com

or at such replacement or additional addresses as either Party may designate by written notice thereof to the other Party in the aforesaid manner.

12. Miscellaneous. This Agreement is not intended to give or confer any benefits, rights, privileges, claims, actions or remedies to any person or entity that is not a party hereto. The normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement or any exhibits or amendments hereto. The headings and captions in this Agreement are for convenience only and in no affect the interpretation of this Agreement. The term "business days" means all days other than Saturday, Sunday, New Year's Day, Martin Luther King Day, Presidents' Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, Christmas and other holidays on which both banks in California and the U.S. postal service are not open for business. This Agreement may be executed in any number of counterparts, each of which shall be an original and all of which taken together shall constitute one and the same instrument. This Agreement may not be modified or amended except in a writing executed by both Parties and recorded in the official records of El Dorado County, California.

[signature pages follow]

IN WITNESS WHEREOF, the parties hereto have executed this Easement Agreement as of the date set forth above.

PARCEL 2 OWNER

El Dorado Hills Retirement Residence Limited Partnership, a Washington limited partnership

By: El Dorado Hills GP LLC,
a Washington limited liability company,
its General Partner

By: Hawthorn Management Services Corp.,
a Washington corporation, its Manager

By: 
Barton G. Colson, President

PARCEL 1 OWNER

TPC/VPD VENTURE I, LLC, a
California limited liability company,

SIGNED IN COUNTERPART

By: _____
TIM SHANNAHAN,
Managing Member

By: *Not Required*
~~RUSSELL FRAZIER, Member~~

SIGNED IN COUNTERPART

By: _____
KRISTEN E. PIGMAN, Member

[notarization on following page]

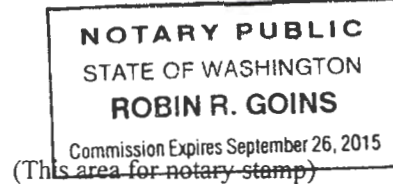
State of Washington)
County of Clark)

On October 16, 2014 before me, Robin R. Goins, a notary public in and for said State, personally appeared Barton G. Colson, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Robin R. Goins



State of _____)
County of _____)

On _____ before me, _____, a notary public in and for said State, personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____

(This area for notary stamp)

IN WITNESS WHEREOF, the parties hereto have executed this Easement Agreement as of the date set forth above.

PARCEL 2 OWNER

El Dorado Hills Retirement Residence Limited Partnership, a Washington limited partnership


By: El Dorado Hills GP LLC,
a Washington limited liability company,
its General Partner

By: Hawthorn Management Services Corp.,
a Washington corporation, its Manager

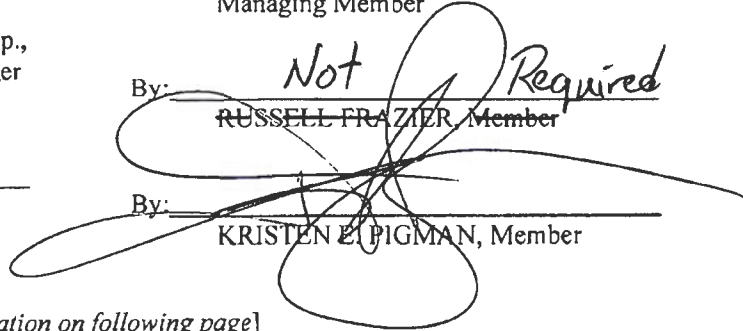
By: 
Barton G. Colson, President

PARCEL 1 OWNER

TPC/VPD VENTURE I, LLC, a
California limited liability company,

By: 
TIM SHANNAHAN,
Managing Member

By: *Not Required*
RUSSELL FRAZIER, Member

By: 
KRISTEN EL PIGMAN, Member

[notarization on following page]

ACKNOWLEDGMENT

State of California
County of Sacramento

On October 31, 2014 before me, Trish Bunyan-Eastland, Notary Public
(insert name and title of the officer)

personally appeared Kristen E. Pagan and Tim Shannahan,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is~~ are
subscribed to the within instrument and acknowledged to me that ~~he~~ ~~she~~ they executed the same in
~~his~~ ~~her~~ their authorized capacity(ies), and that by ~~his~~ ~~her~~ their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

EXHIBIT A

PARCEL 1 LEGAL DESCRIPTION

PARCEL 1, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF EL DORADO, STATE OF CALIFORNIA, ON OCTOBER 31, 2014, IN BOOK 51 OF PARCEL MAPS, AT PAGE 61.

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

EXHIBIT B

PARCEL 2 LEGAL DESCRIPTION

PARCEL 2, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF EL DORADO, STATE OF CALIFORNIA, ON OCTOBER 31, 2014, IN BOOK 51 OF PARCEL MAPS, AT PAGE 61.

EXHIBIT C
EASEMENT AREA

Attached.

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

October 31, 2014

EXHIBIT 'C'
Reciprocal Access Easement

All that portion of the tract of land as shown and designated as Parcel 1 on the Parcel Map filed 10/31/2014 in Book 51 of Parcel Maps, at Page 61, El Dorado County Records, located in Section 11, Township 9 North, Range 8 East, M.D.B.M., El Dorado County, California, being more particularly described as follows:

Beginning at the northwesterly corner of said Parcel 1; thence from said **Point of Beginning**, along the northerly line of said Parcel 1 for the following two (2) consecutive courses and distances:

1. along the arc of a curve to the right, having a radius of 557.00 feet, a central angle of 07° 13' 14", a length of 70.19 feet, and a chord bearing North 66° 18' 00" East for a distance of 70.15 feet and
2. North 69° 54' 37" East for a distance of 14.15 feet;

thence leaving said northerly line for the following seven (7) consecutive courses and distances:

1. South 27° 43' 16" East for a distance of 197.92 feet,
2. along the arc of a tangent curve to the left, having a radius of 23.00 feet, a central angle of 25° 30' 10", a length of 10.24 feet, and a chord bearing South 40° 28' 21" East for a distance of 10.15 feet,
3. along the arc of a reverse curve to the right, having a radius of 324.50 feet, a central angle of 23° 11' 48", a length of 131.38 feet, and a chord bearing South 41° 37' 32" East for a distance of 130.48 feet,
4. South 27° 59' 49" East for a distance of 93.23 feet,
5. along the arc of a tangent curve to the right, having a radius of 430.00 feet, a central angle of 29° 10' 38", a length of 218.97 feet, and a chord bearing South 13° 24' 30" East for a distance of 216.61 feet,
6. South 01° 10' 49" West for a distance of 53.68 feet and
7. North 88° 44' 12" West for a distance of 47.33 feet to the southeasterly corner of Parcel 2 of said Parcel Map;

thence along the easterly line of said Parcel 2 for the following seven (7) consecutive courses and distances:

1. along the arc of a non-tangent curve to the right, having a radius of 134.50 feet, a central angle of 03° 11' 15", a length of 7.48 feet, and a chord bearing North 03° 55' 49" West for a distance of 7.48 feet,
2. North 01° 10' 49" East for a distance of 46.16 feet,
3. along the arc of a tangent curve to the left, having a radius of 382.00 feet, a central angle of 29° 10' 38", a length of 194.53 feet, and a chord bearing North 13° 24' 30" West for a distance of 192.43 feet,
4. North 27° 59' 49" West for a distance of 92.34 feet,

Sheet 1 of 3

X:\C3D\14195\docs\14195EAS-C.doc

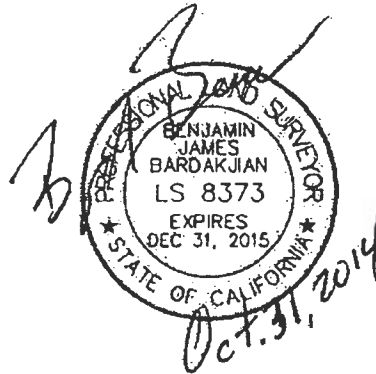
PD-R23-0003

5. along the arc of a tangent curve to the left, having a radius of 276.50 feet, a central angle of $34^{\circ} 32' 54''$, a length of 166.73 feet, and a chord bearing North $47^{\circ} 28' 14''$ West for a distance of 164.21 feet,
6. along the arc of a reverse curve to the right, having a radius of 70.00 feet, a central angle of $37^{\circ} 01' 24''$, a length of 45.23 feet, and a chord bearing North $46^{\circ} 13' 59''$ West for a distance of 44.45 feet,
7. North $27^{\circ} 43' 16''$ West for a distance of 145.69 feet to the **Point of Beginning**.

Containing an area of 0.93 acres, more or less.

End of description.

Note: The above described parcel is shown on Exhibit 'C', Sheet 3 attached hereto and made a part hereof.



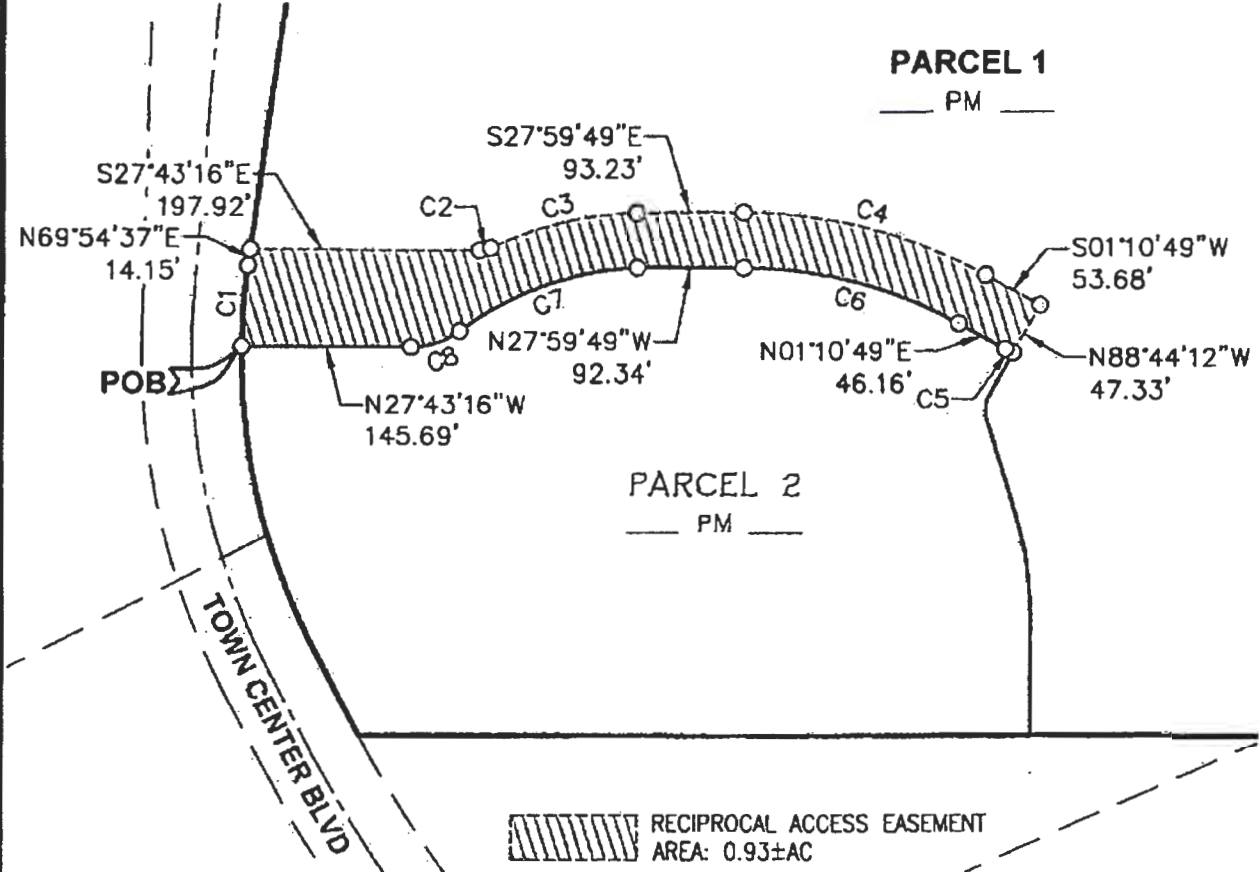
RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

CURVE TABLE

NO.	RADIUS	DELTA	LENGTH	BEARING	DIST
C1	557.00'	7°13'14"	70.19'	N66°18'00"E	70.15'
C2	23.00'	25°30'10"	10.24'	S40°28'21"E	10.15'
C3	324.50'	23°11'48"	131.38'	S41°37'32"E	130.48'
C4	430.00'	29°10'38"	218.97'	S13°24'30"E	216.61'
C5	134.50'	3°11'15"	7.48'	N03°55'49"W	7.48'
C6	382.00'	29°10'38"	194.53'	N13°24'30"W	192.43'
C7	276.50'	34°32'54"	166.73'	N47°28'14"W	164.21'
C8	70.00'	37°01'24"	45.23'	N46°13'59"W	44.45'



Benjamin James Bardakjian

BENJAMIN JAMES BARDAKJIAN
LS 8373
EXPIRES DEC 31, 2015
OCT. 31, 2014

PROFESSIONAL LAND SURVEYOR
STATE OF CALIFORNIA

EXHIBIT 'C'
A PORTION OF
SECTION 11, T. 9 N., R. 8 E., M.D.M.
EL DORADO COUNTY, CALIFORNIA
SCALE: 1"=150' OCTOBER 31, 2014

ANDREGG
GEOMATICS
www.andregg.com
800-400-7072

EL DORADO HILLS TOWN CENTER WEST
Design Review Committee

RECEIVED

June 27, 2023

JUL 21 2023

TO: EL DORADO COUNTY PLANNING DEPT.
2850 Fairlane Ct. #C
El Dorado Hills, CA 95667

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

RE: **Superior Self Storage - 4250 Town Center Blvd., El Dorado (Phase 3) – PA22-0014**

To whom it may concern:

Pursuant to the El Dorado Hills Town Center West Guidelines and Development Standards, the elected members of the Town Center West Design Review Committee (TCWDRC), as of the date referenced above, unanimously approve the project known as **Superior Self Storage Phase 3 (File # PA22-0014)**.

In consideration for such approval, the TCWDRC has stamped all Phase 3 Plans provided for the submittal package to the County of El Dorado.

If should have any questions, please contact me with any questions.

Sincerely,



Michael Harris
Elected Member
Town Center West, Design Review Committee

PD-R23-0003



4250 Town Center Blvd

PD-R23-0003

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

IMPROVEMENT PLANS
FOR
SUPERIOR SELF STORAGE - PHASE 3
4250 TOWN CENTER BLVD. EL DORADO HILLS, CALIFORNIA

VICINITY MAP



WATER SERVICE CERTIFICATION

I HEREBY CERTIFY THAT THE WATER SYSTEM AS SHOWN ON DRAWING NUMBERS C301 AND C302, SHEETS 7 THROUGH 8 HAS BEEN DESIGNED TO PROVIDE EACH FACILITY OF THIS PROJECT WITH ADEQUATE WATER PRESSURE AND FIRE FLOW AS OF THE DATE SHOWN, BASED ON CRITERIA SUPPLIED BY THE EL DORADO IRRIGATION DISTRICT.

REGISTERED CIVIL ENGINEER _____ DATE _____

RECORD DRAWING CERTIFICATE

THIS SET OF PLANS, HAVING BEEN REVIEWED BY ME, REFLECT ALL APPROVED REVISIONS TO THE PROJECT KNOWN TO ME, AND ALL FIELD DEVIATIONS TO THE PLANNED IMPROVEMENTS BY THE CONSTRUCTION CONTRACTOR, AS REPORTED TO ME AS OF _____ (DATE). IT DOES NOT REPRESENT FIELD VERIFICATION OF PLANNED IMPROVEMENTS BY ME.

REGISTERED CIVIL ENGINEER _____ DATE _____

APPROVALS

EDC DEVELOPMENT SERVICES DEPARTMENT SITE/GRADING PLAN REVIEW

THE COUNTY'S SIGNATURE IS FOUNDED ON THE PREMISE THAT THE OWNER AND ENGINEER OF RECORD HAVE PROVIDED ACCURATE INFORMATION TO THE COUNTY. IF ANY OF THE INFORMATION IS FOUND TO BE ERRONEOUS, THEN THE COUNTY MAY REQUIRE THE OWNER, ENGINEER OF RECORD AND CONTRACTOR TO STOP ALL NON-EROSION CONTROL RELATED WORK UNTIL THE DISCREPANCY IS RECTIFIED TO THE SATISFACTION OF THE COUNTY.

EL DORADO HILLS FIRE DEPARTMENT

FIRE MARSHALL _____ DATE _____

WATER MATERIAL LIST

ITEM	MANUFACTURER	MODEL/TYPE/SIZE	QUANTITY
PIPE			
SERVICES			
FIRE HYDRANTS			
VALVES (BY TYPE)			

GEOTECHNICAL REPORT

SUPERIOR STORAGE PHASE 3, E85014.036, APRIL 11, 2022 & JULY 6, 2022, TOWNHALL CONSULTING GROUP, INC., 1234 GLENVIEW COURT, EL DORADO HILLS, CA 95762.

BENCH MARKS

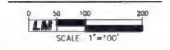
ELEVATIONS ARE N.G.V.D. 1829 AS TRANSFERRED BY GPS OBSERVATION. SITE BENCHMARK IS AS SHOWN ON THIS SHEET AND PREVIOUS PHASE 1 AND PHASE 2 SITE IMPROVEMENTS.

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		STORM DRAIN AND MANHOLE
		PERFORATED STORM DRAIN
		SANITARY SEWER AND MANHOLE
		SANITARY SEWER FORCE MAIN
		SEWER PUMP STATION
		FIRE HYDRANT AND VALVE ASSEMBLY
		WATER MAIN, VALVE, DOUBLE DETECTOR CHECK VALVE, METER & BLOWOFF VALVE
		JOINT UTILITY TRENCH
		GAS MAIN
		ELECTRICAL LINE } UG-UNDERGROUND OH-OVERHEAD
		TELEPHONE LINE
		STREET LIGHT CONDUIT, WIRING & PULL BOX
		STREET LIGHT AND POLE
		UTILITY POLE WITH DOWN GUY & ANCHOR
		POWER POLE, TELEPHONE POLE, JOINT POLE
		FENCE
		VERTICAL CURB, GUTTER & SIDEWALK WITH DRIVEWAY
		CATCH BASIN DR DRAINAGE INLET
		FLOWLINE OF DITCH OR SWALE
		DIRECTION OF SURFACE DRAINAGE FLOW
		CUT OR FILL SLOPE
		RIGHT OF WAY OR PROPERTY LINE
		STREET CENTERLINE OR BASELINE
		SURVEY MONUMENT
		TREE
		TREE TO BE REMOVED
		EXISTING GROUND SURFACE ELEVATION
		EDGE OF PAVEMENT AND ELEVATION
		FLOW LINE GRADE
		TOP OF CURB GRADE/ASPHALT GRADE
		FINISHED CONCRETE GRADE
		MATCH EXISTING GRADE (FIELD VERIFY)
		PUBLIC UTILITY EASEMENT
		ROLL CURB, GUTTER, & SIDEWALK
		GRADING RIDGE



OVERALL SITE PLAN



TOWN CENTER WEST DESIGN REVIEW COMMITTEE
Preliminary Approval: _____
M. Harris

EL DORADO IRRIGATION DISTRICT

APPROVED FOR CONSTRUCTION DATE _____
PROJECT NO. _____ WORK ORDER NO. _____ DRAWING NO. _____

EARTHWORK VOLUMES

TOTAL CUT = 3,077 CY
TOTAL FILL = 1,794 CY

SHEET INDEX

PAGE NO.	SHEET NO.	SHEET NAME
1	C001	TITLE SHEET
2	C002	ABBREVIATIONS & GENERAL NOTES
3	C003	GENERAL NOTES
4	C1D1	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
5	C201	CIVIL SITE PLAN
6	C202	CIVIL SITE PLAN
7	C301	GRADING & UTILITY PLAN
8	C302	GRADING & UTILITY PLAN PLAN
9	C401	CROSS SECTIONS
10	C501	FIRE PLAN
11	C601	EROSION & SEDIMENTATION CONTROL PLAN
12	C701	DETAILS

UTILITY REPRESENTATIVES

UTILITY	COMPANY	REPRESENTATIVE	PHONE NUMBER
GAS & ELECTRIC	P.G.&E.	BRIAN RITCHE	(530) 621-7264
TELEPHONE	A&T	DARIN MORTINSON	(530) 621-6926
WATER & SEWER	EL DORADO IRRIGATION DISTRICT	MARC MACKAY	(530) 642-4135
DRAINAGE	COUNTY OF EL DORADO	INSPECTOR	(530) 621-5900
FIRE	EL DORADO HILLS FIRE DEPARTMENT	DAVE TETER	(530) 642-7336
USA			811

DESIGNED BY: TCT
DRAWN BY: MSW
CHECKED BY: TCT

REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING - LAND SURVEYING - PLANNING
808 COUNTY STREET, SUITE 200, EL DORADO HILLS, CALIFORNIA 95762
P.O. BOX 6236, WOODLAND, CA 95766-9576 FAX: (530) 962-4652



IMPROVEMENT PLANS FOR SUPERIOR SELF STORAGE - PHASE 3
4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA
TITLE SHEET

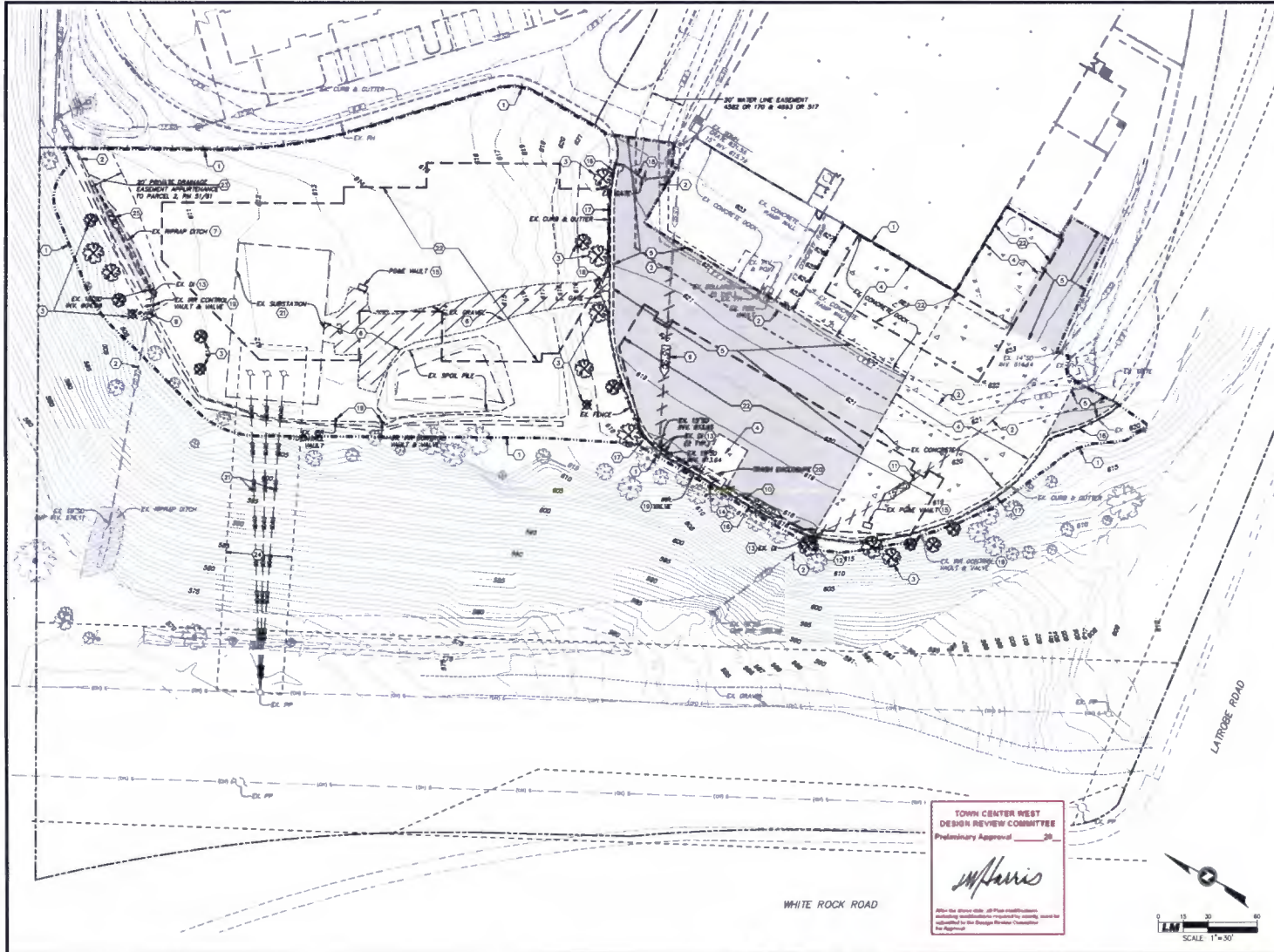
SCALE 1"=100'
C001
DATE: 02/22/23
JOB NO. 2344-10-1
SHEET 1 OF 12

PD-R23-0003

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



- GENERAL NOTES:**
- CONTRACTOR SHALL POthOLE AND VERIFY DEPTHS AND LOCATIONS OF EXISTING UTILITIES AS FIRST ITEM OF WORK, AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL COORDINATE UTILITY SHUTOFFS AND TERMINATIONS WITH UTILITY COMPANIES. CONTRACTOR SHALL PROVIDE PROOF OF SHUTOFFS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. WHEN FEASIBLE, SUCH WORK SHALL BE COMPLETED PRIOR TO GRADING.
 - ALL UNSUITABLE AND SURPLUS MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS SPECIFIED OTHERWISE.
 - WHERE ADJACENT LANDSCAPE AREAS ARE DISTURBED, REPLACE IN KIND OR EXTEND AS REQUIRED TO MATCH EXISTING.
 - THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLES AND VALVE BOXES WITHIN THE WORK AREA TO GRADE EVEN THOSE THAT MAY NOT SPECIFICALLY BE NOTED. ALL DAMAGED BOXES SHALL BE REPLACED WITH NEW BOXES.

- TREE REMOVAL/PRESERVATION NOTES:**
- EXISTING TREE TO REMAIN. INSTALL ORANGE PROTECTIVE FENCING AT DRIP LINE TO PROTECT EXISTING TREE WHERE ALLOWED. FENCING SHALL BE ADJUSTED TO ACCOMMODATE CONSTRUCTION OPERATIONS. IT IS UNDERSTOOD THAT CONSTRUCTION IS OCCURRING WITHIN THIS ZONE AND THAT THE PROTECTIVE FENCE WILL NEED TO BE ADJUSTED TO ACCOMMODATE THIS CONSTRUCTION AND THEN REINSTALLED AFTER THAT SPECIFIC OPERATION HAS OCCURRED. INSTALL ORANGE PROTECTIVE FENCING AROUND TREE (SEE DETAIL 1, SHEET C001).
 - FIELD VERIFY TREES TO BE REMOVED WITH OWNER PRIOR TO REMOVAL. ALL TREES NOT SHOWN TO BE SAVED SHALL BE REMOVED. TREE AND STUMP REMOVAL SHALL INCLUDE REMOVAL OF THE MAJOR ROOT SYSTEM TO THE SATISFACTION OF THE OWNER. SUCH REMOVAL SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT TREES THAT ARE TO BE PRESERVED. STUMP REMOVAL WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED SHALL BE BY GRIPPING METHOD, TO A DEPTH OF 1- FEET BELOW ADJACENT GRADE OR SUBGRADE. DEPRESSIONS RESULTING FROM THE REMOVAL OF TREES SHOULD BE CLEARED OF LOOSE SOIL AND ROOTS, AND BACK FILLED PER CALTRANS STANDARDS.

- DEMOLITION NOTES:**
- (---) DENOTES APPROXIMATE LIMITS OF PROJECT CONSTRUCTION.
 - CAUTION! EXISTING UTILITIES TO REMAIN IN PLACE. CONTRACTOR SHALL PROTECT UTILITY AS REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL POthOLE AND VERIFY DEPTH AND LOCATION AS FIRST ORDER OF WORK AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - REMOVE EXISTING TREES (21 TOTAL) PER THE GEOTECHNICAL REPORT.
 - HATCHING DENOTES APPROXIMATELY 20,200 SF EX. CONCRETE PAVING TO BE REMOVED TO FULL SECTION DEPTH.
 - HATCHING DENOTES APPROXIMATELY 22,780 SF EX. AC PAVING TO BE REMOVED TO FULL SECTION DEPTH.
 - HATCHING DENOTES APPROXIMATELY 3,880 SF EX. AS TO BE REMOVED.
 - REMOVE EXISTING RIP RAP (APPROX. 640 SF) AND STOCKPILE FOR FUTURE USE.
 - REMOVE 22± LF EXISTING 18" SD AND DRAINAGE INLET.
 - REMOVE 104± LF EXISTING 15" SD.
 - REMOVE 102± LF EXISTING 18" SD.
 - REMOVE 102± LF EXISTING 15" SD.
 - REMOVE 8± LF EXISTING 18" SD.
 - REMOVE EXISTING DRAINAGE INLETS (4 TOTAL).
 - EXISTING STREET LIGHT TO BE REMOVED PER THE ELECTRICAL PLANS.
 - EXISTING POGE VAULT TO BE REMOVED/RELOCATED PER THE ELECTRICAL PLANS.
 - REMOVE 503± LF EXISTING CURB AND CUTTER.
 - REMOVE 503± LF EXISTING FENCING.
 - REMOVE EXISTING GATES (2 TOTAL).
 - SEE LANDSCAPE PLANS FOR REMOVAL OF EXISTING IRRIGATION VALVES AND LINES.
 - EXISTING TRASH ENCLOSURE TO BE REMOVED.
 - PREVIOUSLY DECOMMISSIONED POGE SUBSTATION TO BE REMOVED PER POGE RECOMMENDATIONS.
 - PROPOSED BUILDING ENVELOPE.
 - EXISTING 20' DRAINAGE EASEMENT TO BE REVISED TO NEW STORM DRAIN ROUTING.
 - EXISTING 40' ELECTRICAL EASEMENT TO BE OUTCLAIMED/ABANDONED.
 - REMOVE 87± LF EXISTING 18" SD.

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval

[Signature]

After the above date, all Plan modifications including modifications incorporated herein, shall be submitted to the Design Review Committee for Approval.



DESIGNED BY: JCT	REV. DATE	DESCRIPTION	BY	APP'D
DRAWN BY: MSW				
CHECKED BY: JCT				

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING LAND SURVEYING PLANNING

BY: *[Signature]*
TODD C. TOMMERASON

DATE: 02/23/23 P.F. 59272

4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA 91731
TEL: (916) 832-7755 FAX: (916) 832-4652

PROFESSIONAL SEAL: CIVIL ENGINEER, STATE OF CALIFORNIA, No. 80071

IMPROVEMENT PLANS FOR
SUPERIOR SELF STORAGE - PHASE 3

TOPOGRAPHIC SURVEY & DEMOLITION PLAN

DATE: 02/23/23
JOB NO. 2344-10-1

SCALE: 1"=30'

C101

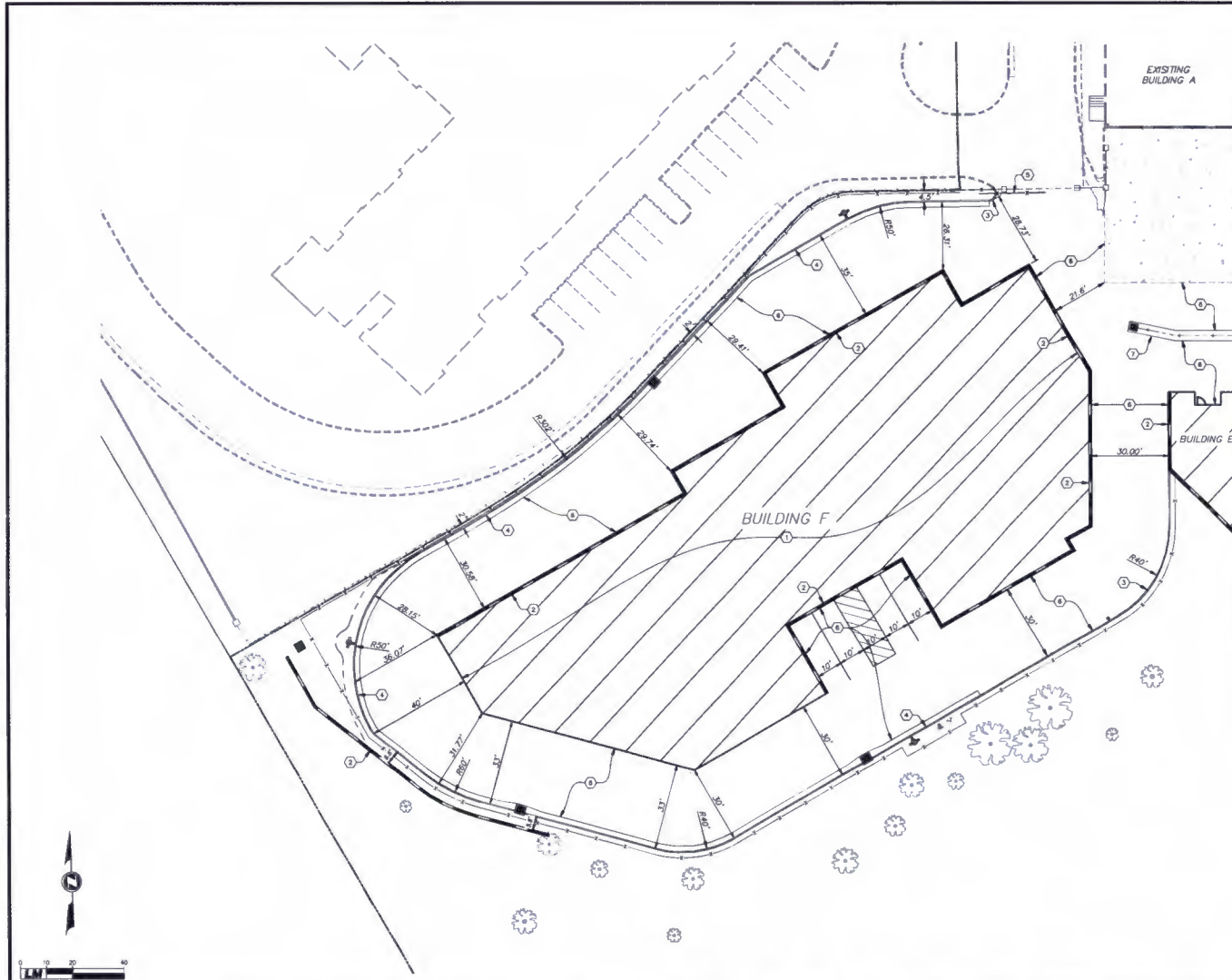
SHEET 4 OF 12

PD-R23-0003

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JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



GENERAL NOTES:

- A. SEE ARCHITECTURAL PLANS FOR PARKING DETAILS AND COUNTS.
- B. 4" WIDE WHITE STANDARD PAINTED PARKING STALL STRIPES (TYPICAL). VERIFY WITH ARCHITECTURAL SITE PLAN. SEE ARCHITECTURAL PLAN FOR FIRE LANE MARKINGS. FIELD VERIFY FIRE LANES WITH FIRE MARSHALL PRIOR TO SIGNING AND STRIPING.
- C. SEE ARCHITECTURAL PLANS FOR ACCESSIBLE PARKING STALL AND SIGNAGE DETAILS.
- D. PCC SLABS SHOULD BE CONSTRUCTED WITH THICKENED EDGES. THE THICKENED EDGES SHOULD BE CONSTRUCTED AND TAPERED OVER A MINIMUM DISTANCE OF 48 INCHES IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 308R DESIGN DETAILS. REINFORCING FOR CRACK CONTROL, IF DESIRED, SHOULD CONSIST OF AT LEAST NO. 4 REINFORCING BARS PLACED ON MAXIMUM 12-INCH CENTERS EACH WAY THROUGH THE SLAB. REINFORCEMENT MUST BE LOCATED AT THE MID-SLAB DEPTH TO BE EFFECTIVE. JOINT SPACING AND DETAILS SHOULD BE DETERMINED BY THE PROJECT ENGINEER AND SHOULD CONFORM WITH CURRENT PCA OR ACI GUIDELINES.

CONSTRUCTION NOTES:

- 1. HATCHING DENOTES BUILDING PAD PER GEOTECHNICAL REPORT. VERIFY OVER BUILD. FOOTING EXCAVATION & COMPACTION REQUIREMENTS WITH GEOTECHNICAL REPORT AND STRUCTURAL PLANS. VERIFY PAD SECTION PRIOR TO STARTING/DRAINING.
- 2. SEE STRUCTURAL PLANS FOR RETAINING WALL SPECIFICATIONS.
- 3. INSTALL STANDARD 6" BARRIER CURB PER DETAIL 1/C701.
- 4. INSTALL VERTICAL CURB AND GUTTER PER DETAIL 3/C701.
- 5. INSTALL GATES PER ARCHITECTURAL PLAN.
- 6. INSTALL 3.5" A.C. AND 5.5" A.B. OVER COMPACTED SUBGRADE PER THE GEOTECHNICAL REPORT. (T.I. = 6.0)
- 7. INSTALL VALLEY GUTTER PER DETAIL 5/C701.

SEE SHEET C202

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20____

M. Harris

After the plan is submitted to the Planning Commission, the applicant must submit a copy of the Design Review Committee's Approval.

DESIGNED BY	TCT			
DRAWN BY	MSW			
CHECKED BY	TCT			
REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING, LAND SURVEYING, PLANNING
609 COURT STREET, BLOOMING, CALIFORNIA 95069 PHONE: (530) 862-1700
P.O. BOX 838, BLOOMING, CALIFORNIA 95076 FAX: (530) 862-4800

BY: *Todd C. Tommerason*
TODD C. TOMMERASON
DATE: 01/21/23 P.E. 59272



IMPROVEMENT PLANS
FOR
SUPERIOR SELF STORAGE - PHASE 3
4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA
CIVIL SITE PLAN

SCALE
1" = 20'

DATE: 02/22/23
JOB NO. 2344-10-1

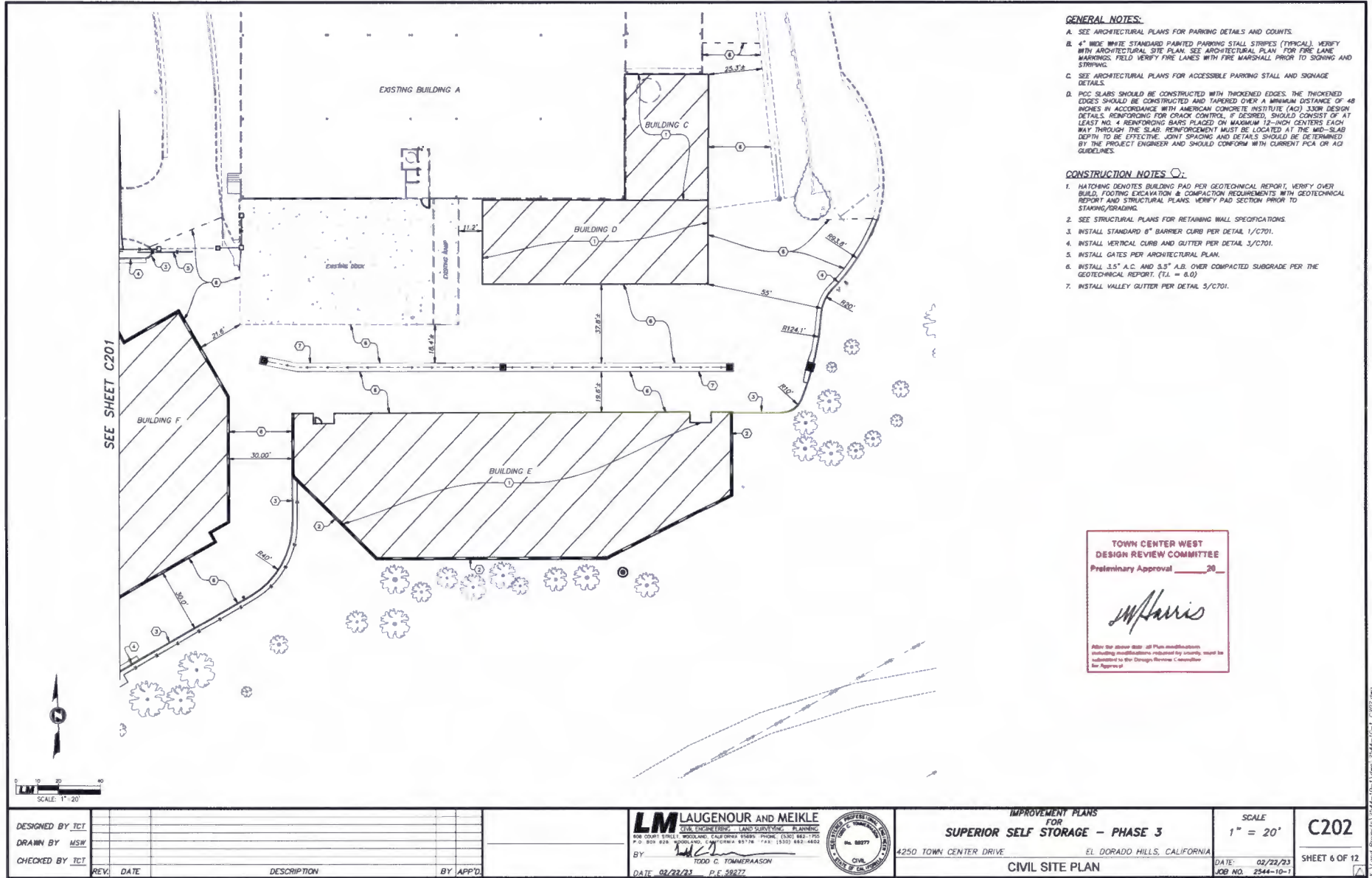
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SHEET 5 OF 12

PD-R23-0003

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

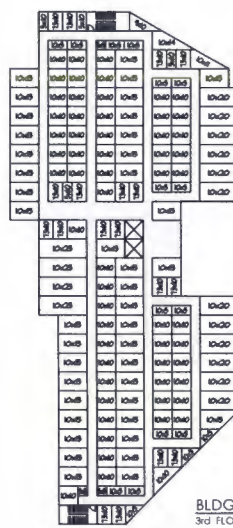
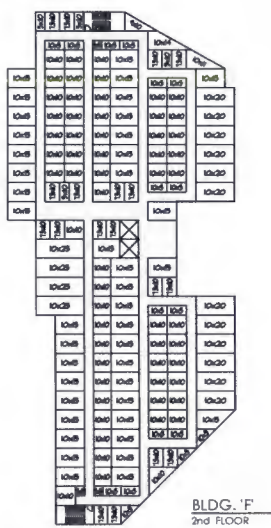
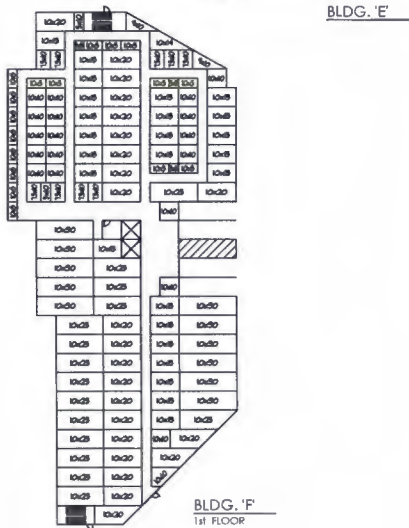
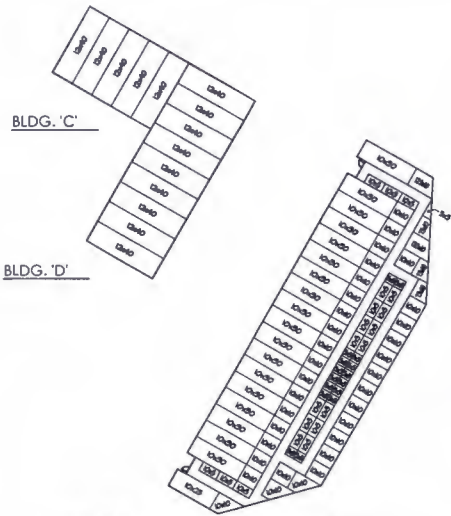


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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



TOTAL UNIT MIX TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
12 x 11	132	24	3,168
15 x 10	150	10	1,500
10 x 5	50	71	3,550
7.5 x 10	75	48	3,600
9 x 10	90	4	360
10 x 10	100	170	17,000
10 x 11	110	2	220
10 x 14	140	3	420
10 x 15	150	107	16,050
10 x 20	200	47	9,400
10 x 25	250	24	6,000
10 x 30	300	29	8,700
12 x 40	480	14	6,720
12.5 x 10	125	2	250
TOTALS		557	73,470
AVERAGE UNIT SIZE			131.81
GROSS BUILDING AREA			92,124
EFFICIENCY			79.48

BLDG. 'C' - FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
12 x 11	132	5	660
TOTALS		5	660
AVERAGE UNIT SIZE			132
GROSS BUILDING AREA			660
EFFICIENCY			100

BLDG. 'D' - FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
12 x 11	132	9	1,188
TOTALS		9	1,188
AVERAGE UNIT SIZE			132
GROSS BUILDING AREA			1,188
EFFICIENCY			100

BLDG. 'E' - FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	17	425
7.5 x 10	75	3	225
10 x 5	50	20	1,000
10 x 10	100	33	3,300
10 x 25	250	1	250
10 x 30	300	18	5,400
12.5 x 10	125	2	250
TOTALS		94	10,850
AVERAGE UNIT SIZE			115.43
GROSS BUILDING AREA			13,908
EFFICIENCY			84.11

BLDG. 'F' - 1st FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	3	75
5 x 10	50	2	100
7.5 x 10	75	9	675
9 x 10	90	2	180
10 x 10	100	19	1,900
10 x 14	140	1	140
10 x 15	150	25	3,750
10 x 20	200	23	4,600
10 x 25	250	15	3,750
10 x 30	300	11	3,300
TOTALS		127	19,220
AVERAGE UNIT SIZE			150.13
GROSS BUILDING AREA			24,148
EFFICIENCY			73.94

BLDG. 'F' - 2nd FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	3	75
5 x 10	50	4	200
7.5 x 10	75	18	1,350
9 x 10	90	1	90
10 x 10	100	50	5,000
10 x 11	110	1	110
10 x 14	140	1	140
10 x 15	150	41	6,150
10 x 20	200	17	3,400
10 x 25	250	4	1,000
TOTALS		181	18,745
AVERAGE UNIT SIZE			113.43
GROSS BUILDING AREA			24,148
EFFICIENCY			73.51

BLDG. 'F' - 3rd FLOOR TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	3	75
5 x 10	50	4	200
7.5 x 10	75	18	1,350
9 x 10	90	1	90
10 x 10	100	50	5,000
10 x 11	110	1	110
10 x 14	140	1	140
10 x 15	150	41	6,150
10 x 20	200	17	3,400
10 x 25	250	4	1,000
TOTALS		181	18,745
AVERAGE UNIT SIZE			113.43
GROSS BUILDING AREA			24,148
EFFICIENCY			73.51

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20____
[Signature]
Allow the above data. All Plan modifications, including modifications required by council, must be submitted to the Design Review Committee for Approval.

FLOOR PLANS

SCALE: 1" = 30'-0"



SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

2.28.2023

2

VALLI ARCHITECTURAL GROUP
1940 COTYOTE GLEN COURT, PH: 949-413-4111
DUNS, UT 84730 gph@valliacg.com

PD-R23-0003

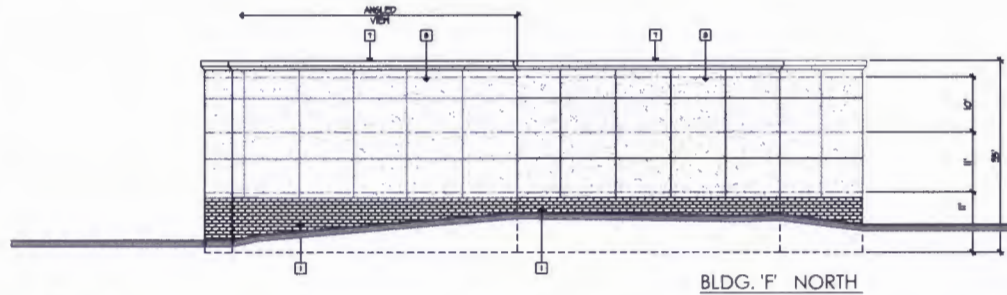
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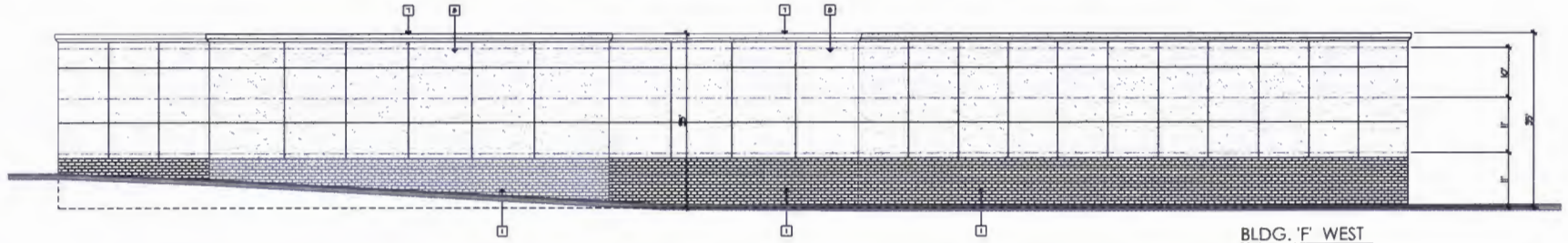
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

ELEVATION KEYNOTES

- 1. CMU WALL WITH ELASTOMERIC PAINT FINISH
- 2. CMU DOOR PLASTER WITH ELASTOMERIC PAINT FINISH
- 3. METAL ROLL-UP DOOR
- 4. METAL TRANSOM OVER DOOR
- 5. METAL ROOF BEYOND
- 6. METAL HALLWAY SWING DOOR
- 7. FOAM CORNICE WITH STUCCO FINISH
- 8. SMOOTH STUCCO FINISH WITH METAL GRID
- 9. METAL CAP FLASHING
- 10. STANLEY SLIDING STOREFRONT DOOR
- 11. SIGN LOCATION



BLDG. 'F' NORTH

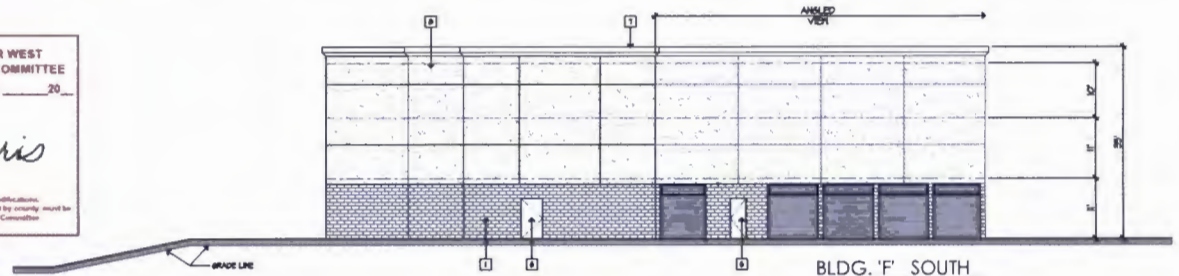


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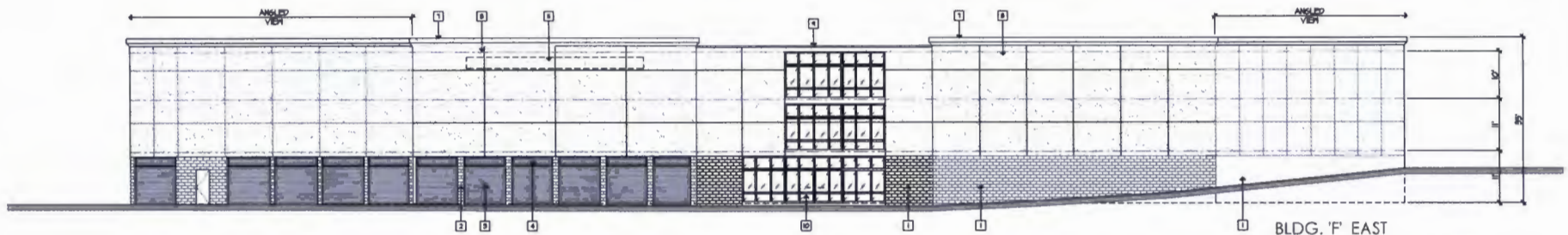
TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20__

M. Harris

After the above date all Plan modifications, including modifications required by county, must be submitted to the Design Review Committee for Approval.



BLDG. 'F' SOUTH



BLDG. 'F' EAST

SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

BLDG 'F' ELEVATIONS

SCALE: 1" = 10'-0"

2.28.2023

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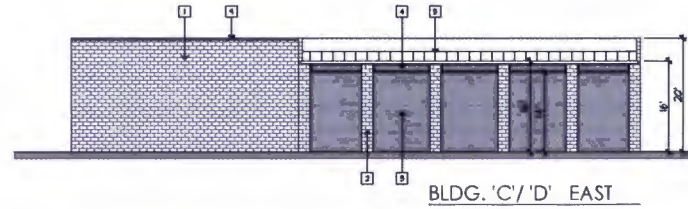


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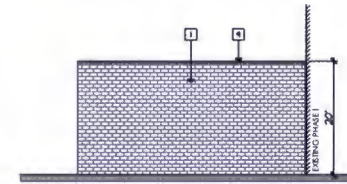
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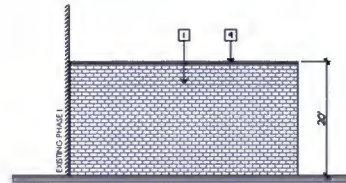
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



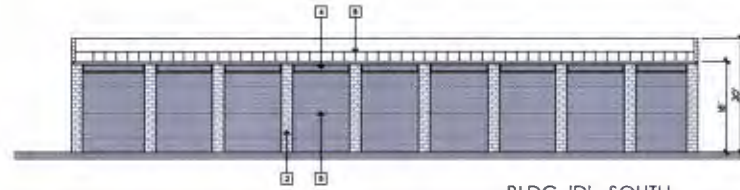
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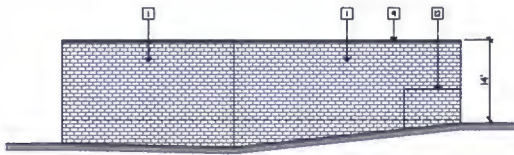
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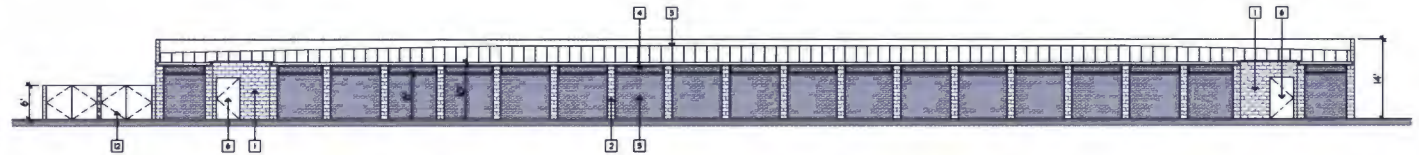
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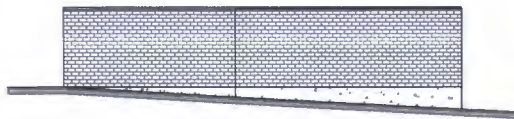
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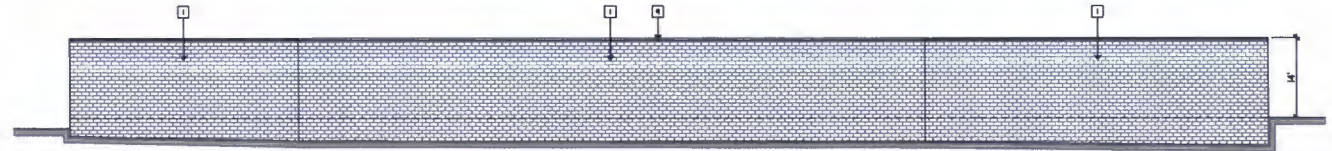
BLDG. 'E' EAST



BLDG. 'E' NORTH



BLDG. 'E' WEST



BLDG. 'E' SOUTH

ELEVATION KEYNOTES

1. CMU WALL WITH ELASTOMERIC PAINT FINISH
2. CMU DOOR PLASTER WITH ELASTOMERIC PAINT FINISH
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4. METAL TRANSOM OVER DOOR
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7. FOAM CORNICE WITH STUCCO FINISH
8. SMOOTH STUCCO FINISH WITH METAL GRID
9. METAL CAP FLASHING
10. STANLEY SLIDING STOREFRONT DOOR
11. SIGN LOCATION
12. CMU TRASH ENCLOSURE

SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

'C', 'D' & 'E' ELEVATIONS

SCALE: 1" = 10'-0"



7.17.2023

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PD-R23-0003

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

JUL 21 2023

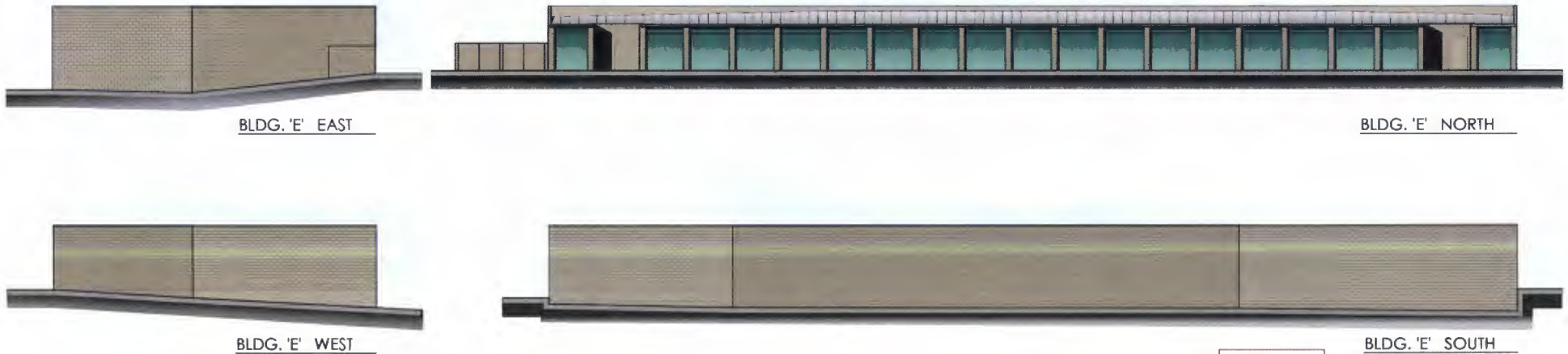
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COLORS & MATERIALS

-  UPPER WALL ACCENT BAND:
PAINT SW# 6762 "POSEIDON"
-  SMOOTH STUCCO FINISH W/METAL GRID:
PAINT SW #6101 "SANDS OF TIME"
-  CMU WITH ELASTOMERIC PAINT FINISH:
PAINT SW #6102 "PORTABELLO"
-  LOWER WALL STUCCO FINISH :
PAINT SW #6102 "PORTABELLO"
-  METAL ROOF AT STORAGE BUILDINGS:
MAKO STEEL: "GALVALUME"
-  ROLL-UP METAL DOORS / DOOR TRANSOMS
JANUS INTERNATIONAL "FOREST GREEN"

A FULL SIZE MATERIAL AND COLORBOARD WITH PAINT BRUSH OUTS AND MATERIAL SAMPLES WILL BE PROVIDED TO THE DRC PRIOR TO ITS FINAL APPROVAL ON THE PROJECT



SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

'C', 'D' & 'E' ELEVATIONS

SCALE: 1" = 10'-0"



7.17.2023

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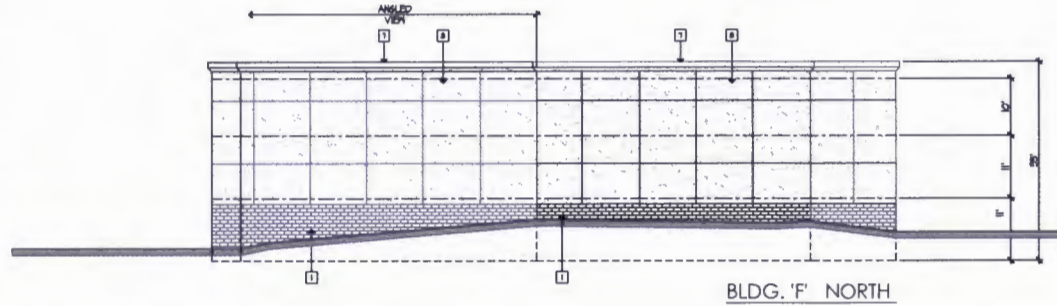


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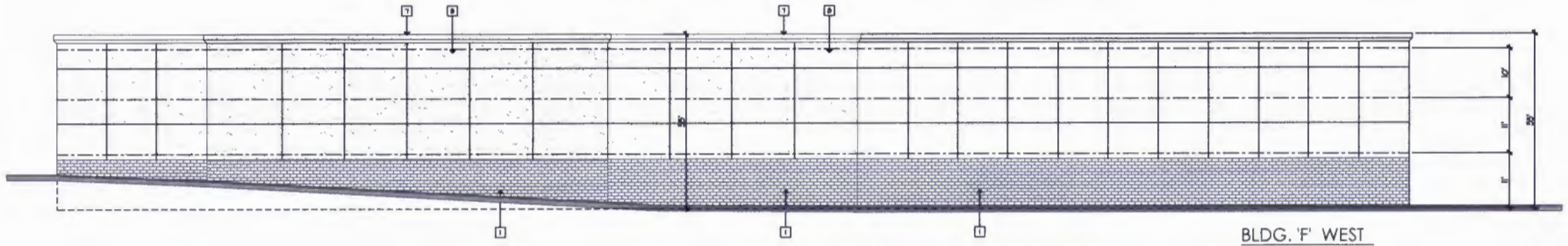
JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



ELEVATION KEYNOTES

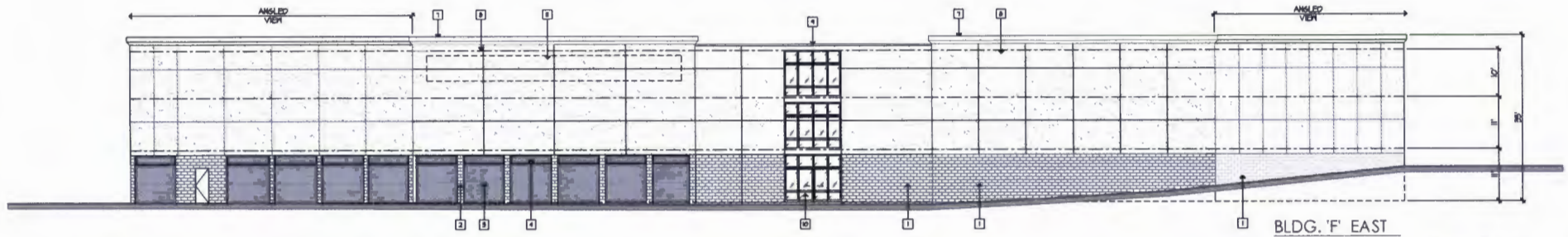
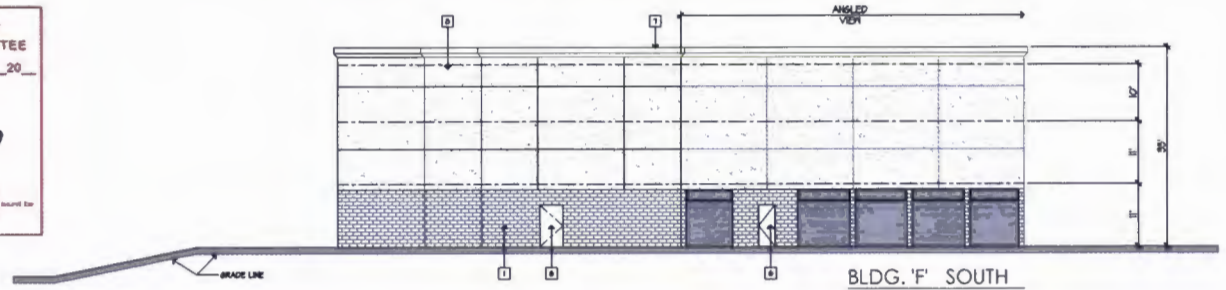
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11. SIGN LOCATION



TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20__

M. Harris

After the above date, all Plan modifications, including modifications required by county, must be submitted to the Design Review Committee for Approval.



SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

BLDG 'F' ELEVATIONS

SCALE: 1" = 10'-0"

2.28.2023

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PLANNING AND BUILDING DEPARTMENT

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20____

M. Harris

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BLDG. 'F' SOUTH



BLDG. 'F' NORTH



BLDG. 'F' WEST



BLDG. 'F' EAST

COLORS & MATERIALS

-  UPPER WALL ACCENT BAND: PAINT SW# 6762 "POSEIDON"
-  SMOOTH STUCCO FINISH W/METAL GRID: PAINT SW #6101 "SANDS OF TIME"
-  CMU WITH ELASTOMERIC PAINT FINISH: PAINT SW #6162 "PORTABELLO"
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SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

BLDG 'F' ELEVATIONS

SCALE: 1" = 10'-0"

2.28.2023

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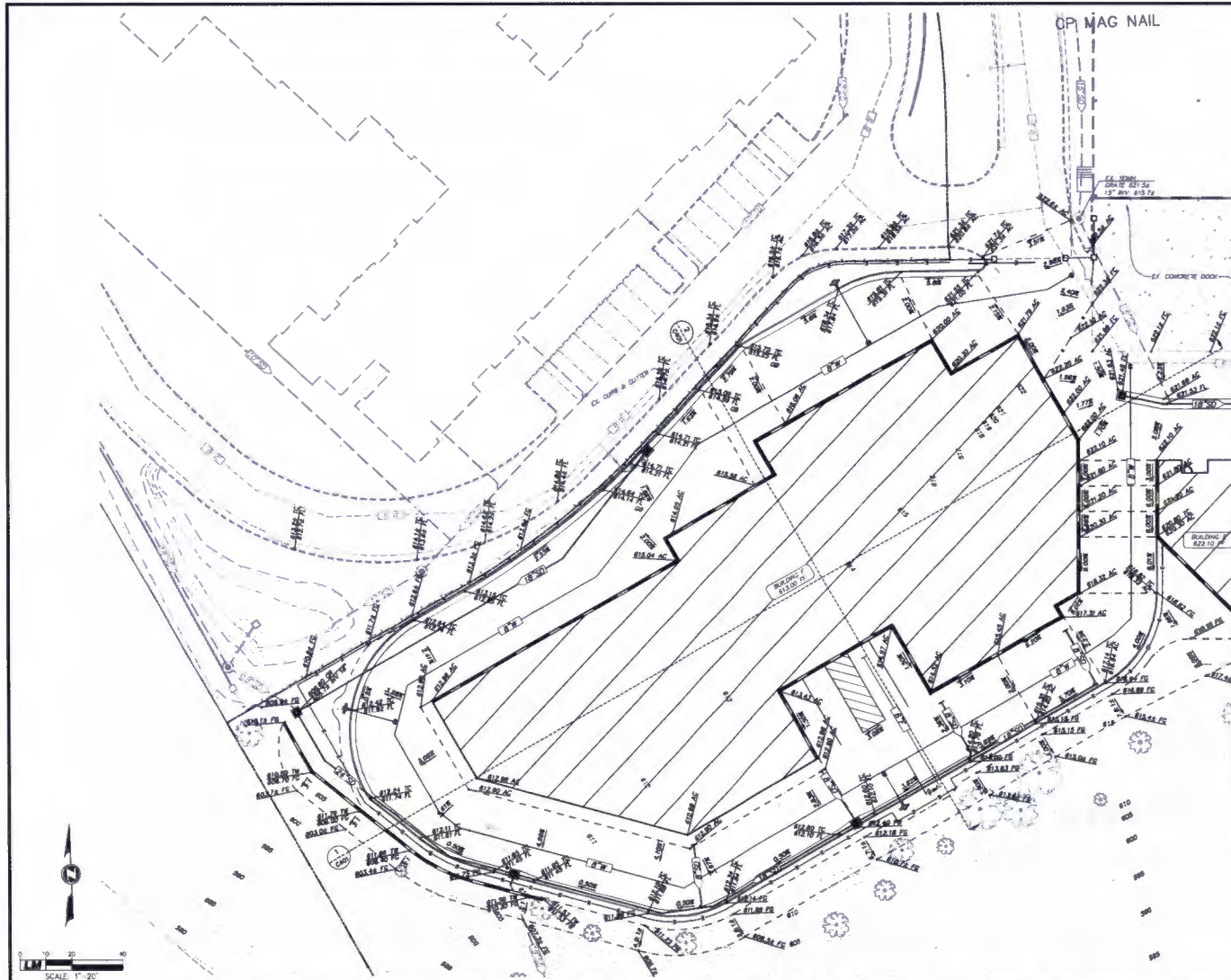


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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



- GENERAL GRADING NOTES:**
- ALL EARTHWORK ACTIVITIES, INCLUDING EXCAVATION, GRADING, SCARIFYING, MOISTURIZING, FILL PLACEMENT, COMPACTION, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL ENGINEERING REPORT AND IN CONFORMANCE WITH THE CITY STANDARD SPECIFICATIONS, CALIFORNIA BUILDING CODE (C.B.C.), AND WITH THE GRADING PLAN.
 - THE GEOTECHNICAL ENGINEER SHALL OBSERVE THE GRADING ACTIVITIES AND PERFORM COMPACTION TESTING FOR THIS PROJECT. THE CONTRACTOR SHALL PROVIDE AT LEAST 24 HOURS NOTICE TO THE GEOTECHNICAL ENGINEER OF THE NEED FOR OBSERVATION AND TESTING SERVICES. THE PROJECT OWNER WILL PAY FOR THE COST OF PROVIDING THESE SERVICES. HOWEVER, IF SAMPLES OF MATERIALS ARE SUBMITTED WHICH FAIL TO PASS THE SPECIFIED TESTS OR IF WORK IS PERFORMED WHICH FAILS TO MEET THESE SPECIFICATIONS, THE CONTRACTOR SHALL PAY FOR ALL SUBSEQUENT RE-TESTS AND RE-INSPECTIONS.
 - EARTHWORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE SITE TO THE GRADES SHOWN. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE DISPOSAL OF EXCESS EXCAVATION OR FOR THE IMPORT OF MATERIAL.
 - TO ACCOMMODATE TRENCH AND FOUNDATION SPOILS, THE CONTRACTOR'S GRADING SHALL INCLUDE UNDERCUTTING OF PAVED AREAS AS APPROPRIATE, OR SOME OTHER METHOD APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE DISPOSAL OF EXCESS EXCAVATION OR FOR THE IMPORT OF MATERIAL.
 - CONTRACTOR SHALL OVEREXCAVATE LANDSCAPE AREAS TO ACCOMMODATE SITE STRIPPINGS. STRIPPINGS ARE NOT ALLOWED IN PAVING OR BUILDING AREAS.
 - ALL CUT SLOPES SHALL BE ROUNDED AT THE "BREAK" SO THAT THEY BLEND WITH THE NATURAL GROUND CONTOUR.

- GRADING NOTES:**
- THERE ARE NO PLANNED PERMANENT GRADING SPOILS AREAS PLANNED FOR THE SITE.
 - ALL TEMPORARY GRADING SPOILS AREAS REQUIRED FOR THE CONSTRUCTION OF THE SITE SHALL BE MAINTAINED UTILIZING BMP'S WHICH WILL BE REQUIRED WITH THE PROJECT SWPPP.

SEE SHEET C302

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20____

M. Harris

After the above signs all Plan modifications, including modifications required by statute, must be submitted to the Design Review Committee for Approval.

DESIGNED BY <i>TCT</i>				
DRAWN BY <i>MSW</i>				
CHECKED BY <i>TCT</i>				
REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEKLE
CIVIL ENGINEERING LAND SURVEYING PLANNING
500 OAKS STREET WOODLAND, CALIFORNIA 95696 PHONE (925) 862-7755
P.O. BOX 828 WOODLAND, CALIFORNIA 95776 FAX (925) 862-4600

BY *TCT*
TODD C. TOMMERAASON
DATE 02/22/23 P.E. 58272



IMPROVEMENT PLANS FOR
SUPERIOR SELF STORAGE - PHASE 3
4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA
GRADING & UTILITY PLAN

SCALE
1" = 20'

C301

DATE 02/22/23
JOB NO. 2544-10-1

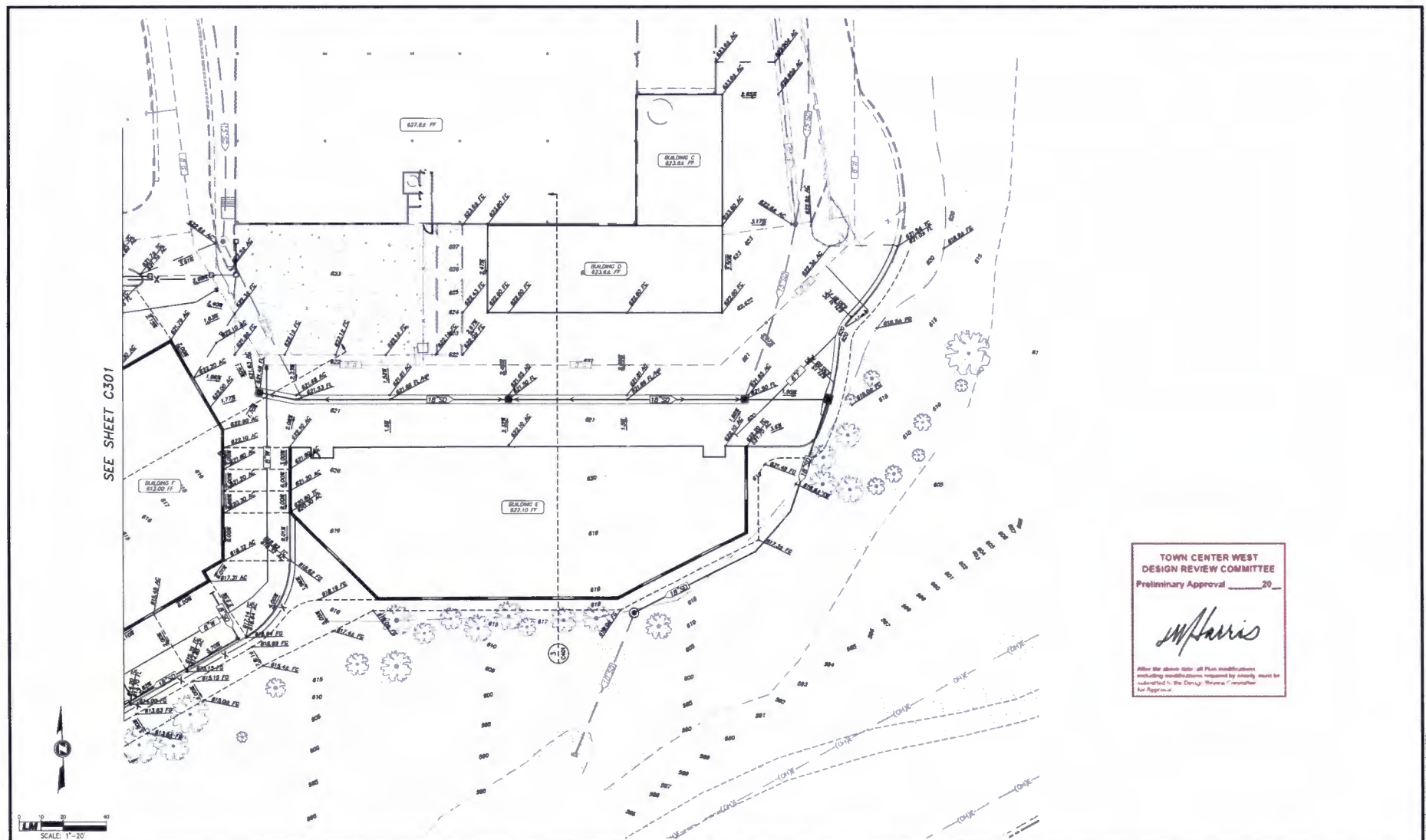
SHEET 7 OF 12

PD-R23-0003

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JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20____

J. Harris

After the above date, all Plan modifications including modifications required by law, must be submitted to the Design Review Committee for Approval.

DESIGNED BY	TCT				
DRAWN BY	MSW				
CHECKED BY	TCT				
REV.	DATE	DESCRIPTION	BY	APP'D.	

LM LAUGENOUR AND MEIKLE
 CIVIL ENGINEERING, LAND SURVEYING, PLANNING
 800 COURT STREET, WOODLAND, CALIFORNIA 95696 PHONE: (530) 862-7700
 P.O. BOX 828 WOODLAND, CALIFORNIA 95776 FAX: (530) 862-4602

BY: *Todd C. Tomnerason*
 TODD C. TOMNERASON
 DATE: 02/22/23 P.E. 59272

IMPROVEMENT PLANS
FOR
SUPERIOR SELF STORAGE - PHASE 3
 4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA
GRADING & UTILITY PLAN PLAN

SCALE
1" = 20'

C302

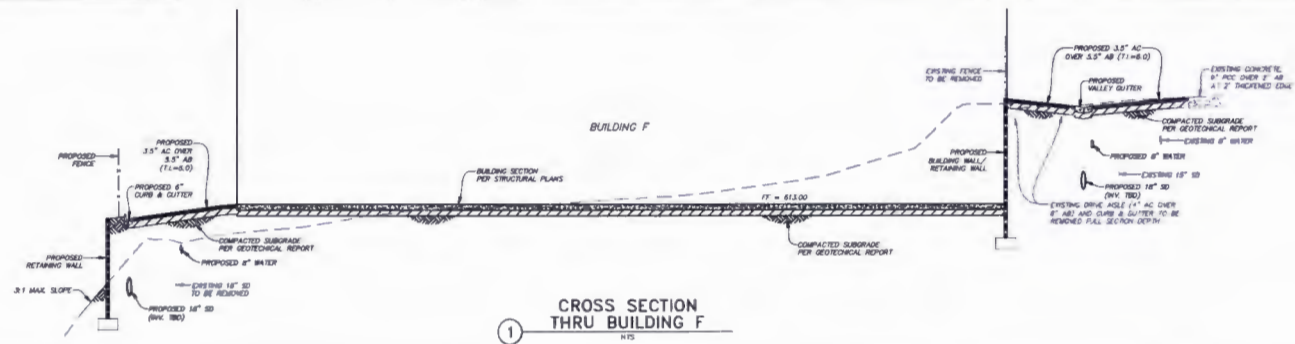
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JOB NO. 2544-10-1

SHEET 8 OF 12

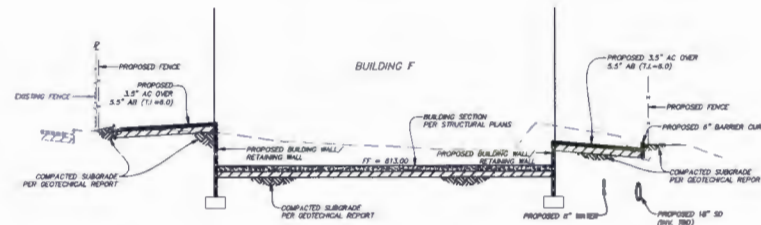
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JUL 21 2023

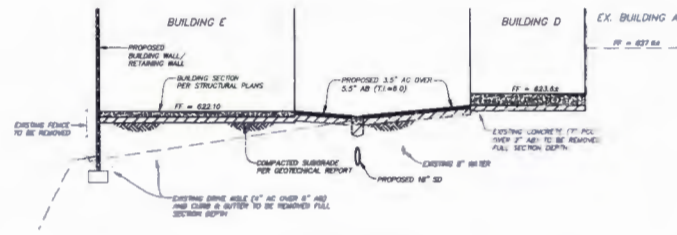
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



1 CROSS SECTION THRU BUILDING F



2 CROSS SECTION THRU BUILDING F



3 CROSS SECTION THRU BUILDINGS D & E

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20__

M. Harris

After the above date all Plan modifications, including modifications required by zoning, must be submitted to the Design Review Committee for Approval.

DESIGNED BY TCT				
DRAWN BY MSW				
CHECKED BY TCT				
REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING, LAND SURVEYING, PLANNING
1000 WEST HILLS, SUITE 1000, EL DORADO, CALIFORNIA 95761
P.O. BOX 828, WOODLAND, CALIFORNIA 95776 FAX: (530) 842-4822

BY: *TCT*
TODD C. TOMMERASON
DATE: 02/22/23 P.E. 59277

IMPROVEMENT PLANS FOR
SUPERIOR SELF STORAGE - PHASE 3

4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA

CROSS SECTIONS

SCALE AS SHOWN

C401

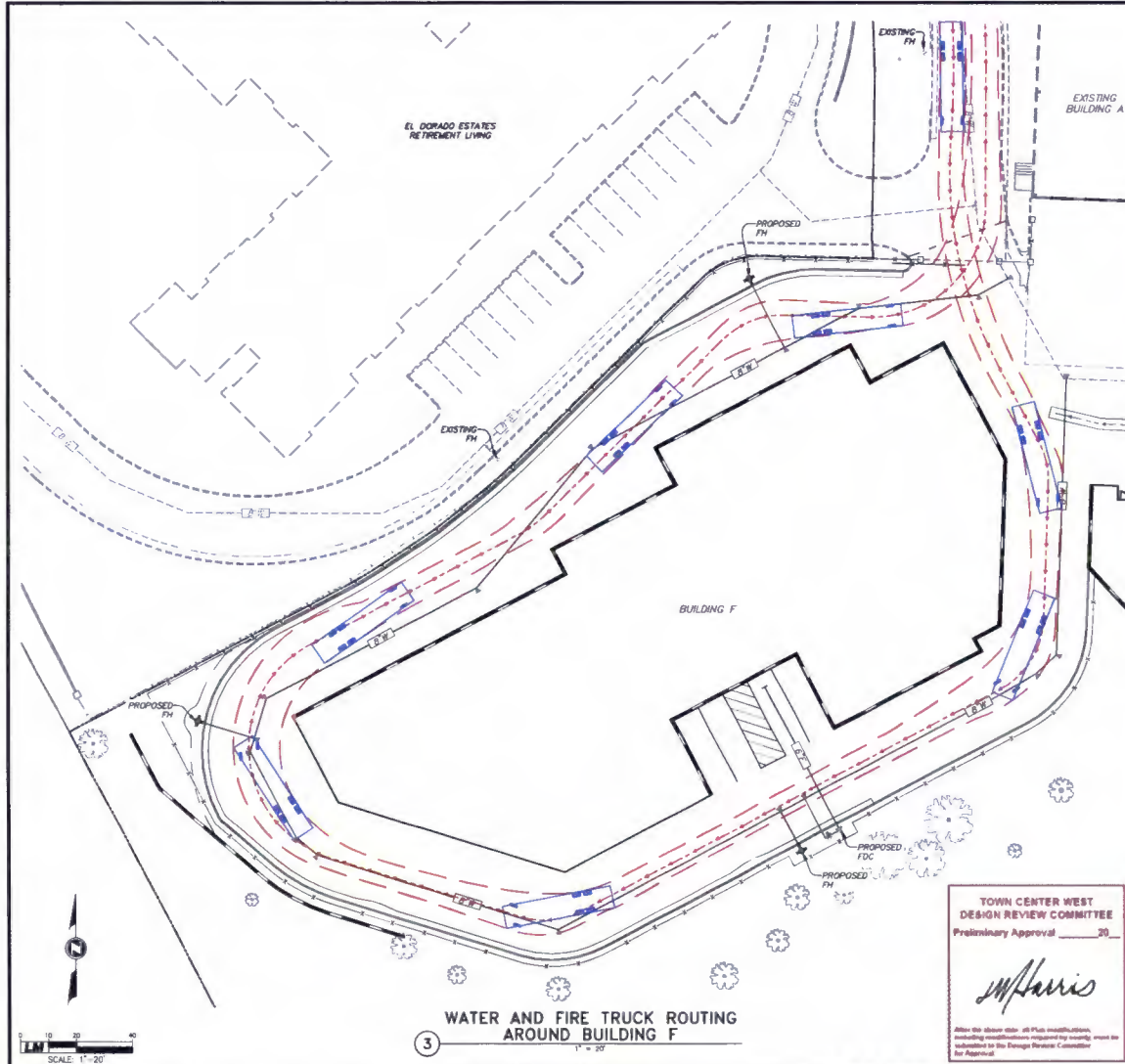
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JOB NO: 2544-10-1

SHEET 9 OF 12

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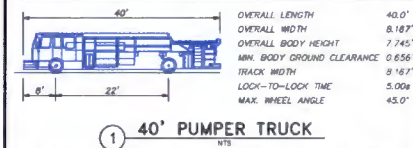
JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



3 WATER AND FIRE TRUCK ROUTING
AROUND BUILDING F

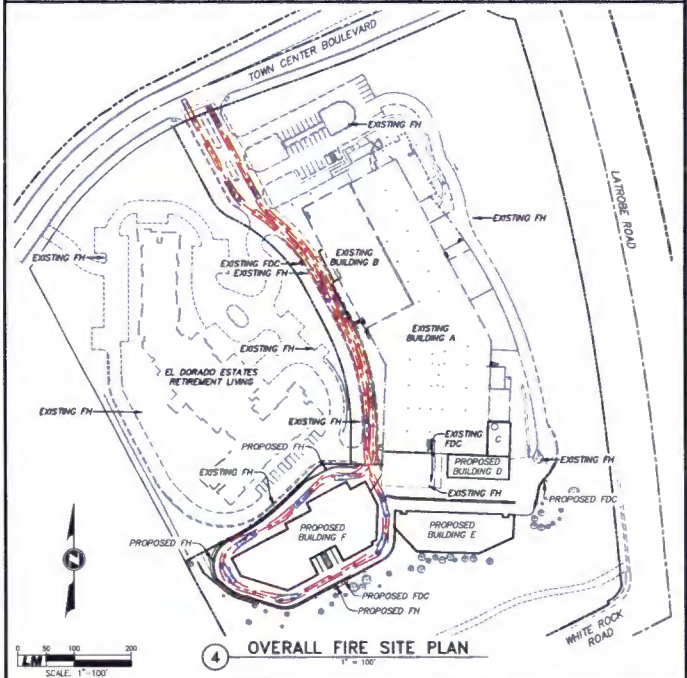
- GENERAL NOTES:**
- FIRE LANES SHALL BE A MINIMUM OF 20 FEET CLEAR WIDTH AND 13 1/2 FEET CLEAR HEIGHT.
 - SEE SHEETS C401 AND C402 FOR WATER MAIN, FIRE MAIN, APPURTENANCES, WATER CONNECTIONS, AND CONSTRUCTION SPECIFICATIONS.
 - FINAL FIRE ACCESS LANE AFTER CONSTRUCTION AROUND BUILDING F.
 - NO GATES SHALL BE INSTALLED ACROSS THE PROPOSED FIRE ACCESS LANES WITHIN THE LIMITS OF PROJECT IMPROVEMENTS.
 - CURBS ALONG FIRE LANE SHALL BE PAINTED RED, TYPICAL.
- CONSTRUCTION NOTES:**
- EXISTING FIRE HYDRANTS SHALL PROVIDE FIRE FIGHTING WATER DURING CONSTRUCTION.
 - HYDRANT BOX LOCATIONS.
- FIRE PROTECTION NOTES:**
- ALL UNDERGROUND FIRE PROTECTION SHALL BE INSTALLED, TESTED, AND MAINTAINED PER NFPA 24, 2010 EDITION.
 - ALL FIRE HYDRANTS, FV/FDC'S SHALL BE INSTALLED SO AS NOT TO BE BLOCKED BY PARKING STALLS, LOADING ZONES, LANDSCAPING, ETC.
 - ALL FIRE HYDRANTS SHALL HAVE AN 18-INCH CLEARANCE FROM THE CENTER OF THE 4-1/2" DISCHARGE TO FINISHED GRADE LEVEL.
 - ALL FIRE HYDRANTS SHALL HAVE A BLUE DOT REFLECTOR INSTALLED 12-INCHES OFF CENTERLINE IN FRONT OF ALL FIRE HYDRANTS ON THE HYDRANT SIDE.
 - ALL FIRE HYDRANTS SHALL BE INSTALLED WITH BREAK-OFF BOLTS AND/OR BREAK-OFF SPOOLS.
 - ALL FIRE HYDRANTS SHALL BE EQUIPPED WITH A 3/4" MINIMUM CONCRETE PAD AROUND THEM PER NFPA 24, 2010 EDITION. EXTEND PAD AS SHOWN ON PLANS TO BACK OF CURB.
 - INSTALL THRUST BLOCK AT ALL WATER FITTINGS PER EL DORADO IRRIGATION DISTRICT STANDARDS. (N = TYPICAL)
 - INSTALL WATER VALVES PER EL DORADO IRRIGATION DISTRICT STANDARDS. ALL PLASTIC WATER MAINS SHALL HAVE TRACER WIRE.



1 40' PUMPER TRUCK



2 28' MIN. TURNING
RADIUS IN FIRE LANE



4 OVERALL FIRE SITE PLAN

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval _____ 20__

M. Harris

After the obtain order all plan modifications, including modifications required by security, must be submitted to the Storage Protection Committee for Approval.

DESIGNED BY TCT					
DRAWN BY MSW					
CHECKED BY TCT					
REV.	DATE	DESCRIPTION	BY	APP'D.	

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING LAND SURVEYING PLANNING
818 CLARK STREET WOODLAND, CALIFORNIA 95696 PHONE: (530) 862-7700
P.O. BOX 828 WOODLAND, CALIFORNIA 95776 FAX: (530) 862-4852

BY *TCT*
TODD C. TOMMERAASON
DATE 02/22/23 P.E. 59277

Professional Engineer Seal: No. 59277, State of California

IMPROVEMENT PLANS FOR
SUPERIOR SELF STORAGE - PHASE 3

4250 TOWN CENTER DRIVE EL DORADO HILLS, CALIFORNIA

FIRE PLAN

SCALE AS SHOWN C501

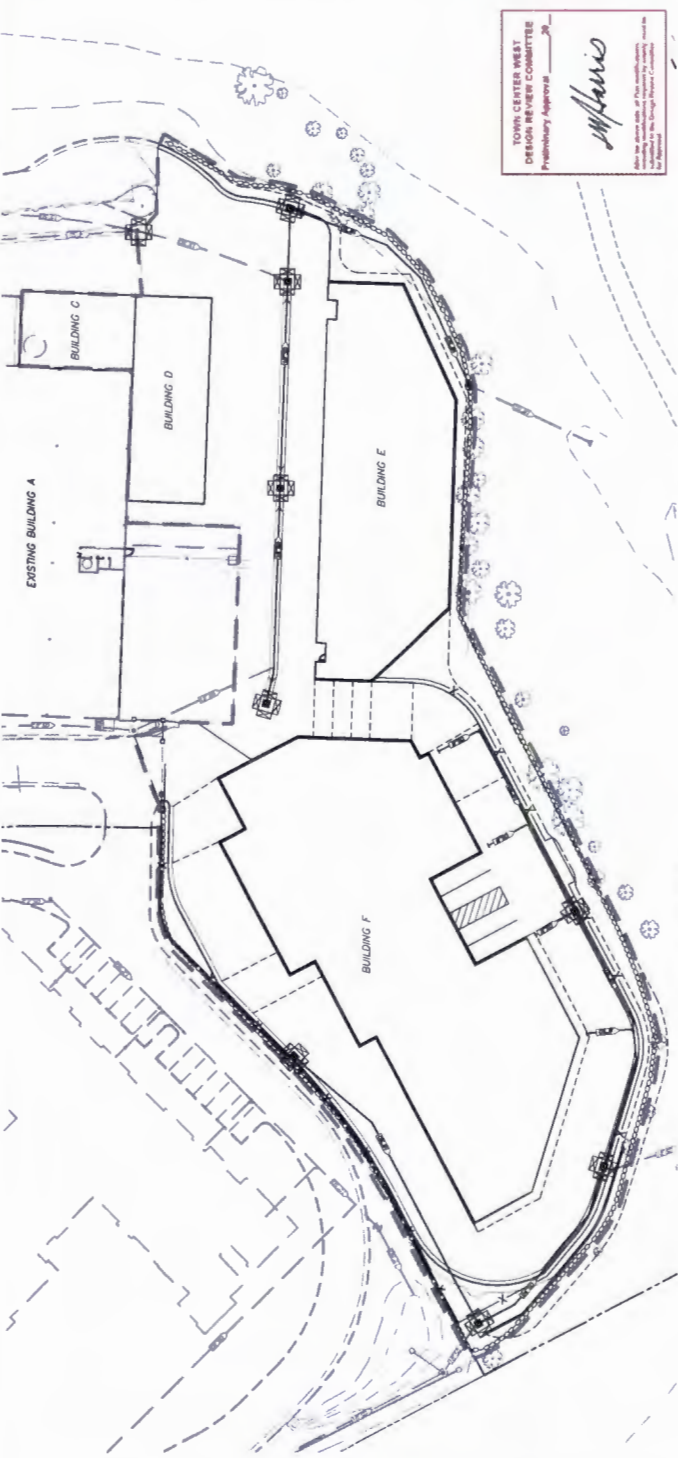
DATE 02/22/23 JOB NO. 2344-10-1 SHEET 10 OF 12

PD-R23-0003

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

CASQA FACT SHEET	SITE BMP'S	REQUIRED
EC-1	SCHEDULING	✓
EC-2	PREVENTION OF EXISTING VEGETATION	✓
EC-3	HYDRAULIC MODEL	✓
EC-4	HYDROSEEDING	✓
EC-5	SOIL BANKS	✓
EC-6	STRIP ALLOEON	✓
EC-7	GEOTEXTILES AND MATS	✓
EC-8	WOOD ALLOEON	✓
EC-9	EARTH ANCHORS AND DRAINAGE CHANNELS	✓
EC-10	VEGETATION STRIP ALLOEON	✓
EC-11	SLOPE GRASSES	✓
EC-12	STRENGTHENING STABILIZATION	✓
EC-13	COMPOST MULCH	✓
EC-14	SOIL PREPARATION/POURING	✓
EC-15	HIGH-VEGETATION STABILIZATION	✓
EC-16	IMPACT EROSION CONTROL	✓
EC-17	SOIL FENCE	✓
EC-18	SEEDING BASIN	✓
EC-19	SEEDING RAMP	✓
EC-20	CHECK DAM	✓
EC-21	PAVED ROLLS	✓
EC-22	GRAVEL BAG BERM	✓
EC-23	STREET SWEEPING AND VACUUMING	✓
EC-24	STRIP BALE BARRIER	✓
EC-25	STRIP BALE PROTECTION	✓
EC-26	ACTIVE TREATMENT SYSTEM (ATS)	✓
EC-27	PERFORATED SET BACK	✓
EC-28	COMPOST SOCKS AND BERTS	✓
EC-29	ROPELITE BAGS	✓
EC-30	STABILIZED CONSTRUCTION ENTRANCE/EXIT	✓
EC-31	ENTRANCE/EXIT THE BMP	✓
EC-32	WATER CONSERVATION PRACTICES	✓
EC-33	DEWATERING OPERATIONS	✓
EC-34	PAVING AND GRADING OPERATIONS	✓
EC-35	TEMPORARY STREAM CROSSING	✓
EC-36	CLEAR WATER DRAINAGE	✓
EC-37	SLURRY CONNECTIONS	✓
EC-38	POTABLE WATER PROTECTION	✓
EC-39	VEHICLE AND EQUIPMENT CLEANING	✓
EC-40	VEHICLE AND EQUIPMENT WASHING	✓
EC-41	VEHICLE AND EQUIPMENT MAINTENANCE	✓
EC-42	PAVED DRIVEWAYS	✓
EC-43	CONCRETE PAVING	✓
EC-44	MATERIAL OVER WATER	✓
EC-45	DEMATERIAL OVER WATER	✓
EC-46	DEMATERIAL BATCH PLANTS	✓
EC-47	MATERIAL DELIVERY AND STORAGE	✓
EC-48	MATERIAL USE	✓
EC-49	STOCKPILE MAINTENANCE	✓
EC-50	SPILL PREVENTION AND CONTROL	✓
EC-51	SOLID WASTE MANAGEMENT	✓
EC-52	HAZARDOUS WASTE MANAGEMENT	✓
EC-53	CONTAMINATED SOIL MANAGEMENT	✓
EC-54	CONCRETE WASTE MANAGEMENT	✓
EC-55	PAVING/SPALL WASTE MANAGEMENT	✓
EC-56	LIQUID WASTE MANAGEMENT	✓



TOWN CENTER WEST
DEVELOPMENT
PRELIMINARY APPROVAL

M. J. ...

DATE: 02/22/23
JOB NO: 244-10-1

13. CONTRACTOR SHALL MAINTAIN HOUSEKEEPING PRACTICES AS FOLLOWS:
- SEED WASTE MANAGEMENT: COLLECTION, BAGGING AND CONTAINMENT ARRANGE FOR REGULAR REMOVAL AND DISPOSAL AT A SITE OF WASTE INCLUDING ORGANIC WASTE, PACKAGING MATERIALS, SOIL OR SPILLS, BRICKS, BATTERIES AND DOMESTIC WASTE TANKS.
 - PROVIDE A DESIGNATED MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING OR CURBS TO PREVENT MATERIAL FROM SPILLING INTO ADJACENT AREAS AND MAINTAIN PROPERLY MAINTAINED AREA AND WASHING SHALL BE WHEN POSSIBLE, INSPECT AND MAINT.
 - CONCRETE WASTE: CONCRETE WASTE SHALL BE STORED IN A DESIGNATED AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING OR CURBS TO PREVENT MATERIAL FROM SPILLING INTO ADJACENT AREAS AND MAINTAIN PROPERLY MAINTAINED AREA AND WASHING SHALL BE WHEN POSSIBLE, INSPECT AND MAINT.
 - PAVING AND PAINTING SUPPLIES: PROVIDE INSTRUCTIONS TO EMPLOYEES AND SUBCONTRACTORS REGARDING REDUCTION OF POLLUTANTS THROUGHOUT THE PROJECT. USE AND CLEAN UP PROJECT SITE WHEN FULLY COMPLETED. DISPOSEL APPROPRIATELY.
 - VEHICLE FUELING, MAINTENANCE AND CLEANING: PROVIDE SECONDARY CONTAINMENT SUCH AS BERMING OR CURBS TO PREVENT FUEL, OIL, GREASE, AND OTHER LIQUIDS FROM SPILLING INTO ADJACENT AREAS AND MAINTAIN PROPERLY MAINTAINED AREA AND WASHING SHALL BE WHEN POSSIBLE, INSPECT AND MAINT.
 - HAZARDOUS WASTE: PROVIDE SECONDARY CONTAINMENT SUCH AS BERMING OR CURBS TO PREVENT HAZARDOUS WASTE FROM SPILLING INTO ADJACENT AREAS AND MAINTAIN PROPERLY MAINTAINED AREA AND WASHING SHALL BE WHEN POSSIBLE, INSPECT AND MAINT.
14. CONTRACTOR SHALL MAINTAIN HOUSEKEEPING PRACTICES AS FOLLOWS:
- ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.
 - CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED FROM THE ONSET OF ANY CONSTRUCTION ACTIVITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE RESTORED TO ORIGINAL OR BETTER CONDITION. ONLY THE REMOVAL OF ALL THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE DEPARTMENT OF UTILITIES.
 - THIS PLAN AND ALL OTHER DOCUMENTS SHALL BE MAINTAINED ON SITE DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE DEPARTMENT OF UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE THEY ARE MAINTAINED AND OPERATING AS INTENDED.
 - CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL MODIFICATIONS OR MAINTENANCE OF BMP'S, AS WELL AS ANY CORRECTIVE CHANGES TO THE BMP'S ON EROSION AND SEDIMENT CONTROL PLAN.
 - IN AREAS WHERE SOIL IS EXPOSED, PROMPTLY REPLACING WITH A COMPATIBLE, DROUGHT-RESISTANT VEGETATION SHALL BE EXPEDITED AND AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON.
 - ALL CONSTRUCTION ACTIVITIES SHALL BE ADJUSTED TO PREVENT CONSTRUCTION FROM CAUSING OPERATIONAL AND CONSTRUCTION RELATED DISTURBANCES TO EXISTING VEGETATION. ALL CONSTRUCTION ACTIVITIES SHALL BE ADJUSTED TO PREVENT CONSTRUCTION FROM CAUSING OPERATIONAL AND CONSTRUCTION RELATED DISTURBANCES TO EXISTING VEGETATION.
 - ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.
 - CONTRACTOR SHALL PLACE BERTS PER BIDS AROUND ALL NEW DRAINAGE STRUCTURE OPENINGS IMMEDIATELY AFTER THE STRUCTURE OPENING IS COMPLETED. THESE BERTS PER BIDS SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND SHALL BE REMOVED IMMEDIATELY AFTER THE PROJECT IS COMPLETED.
 - CONTRACTOR SHALL PLACE SET FENCING ON FLEET ROLL ALONG THE PERIMETER OF PROJECT SITE.
 - GRADING SHALL NOT OCCUR WHEN WIND SPEEDS EXCEED 20 MPH OVER A ONE (1) HOUR PERIOD.

LM LAUGENOUR AND MEIKLE
LAND SURVEYING AND PLANNING
P.O. BOX 1188, STOCKTON, CA 95211
BY: *[Signature]* DATE: 02/22/23

IMPROVEMENT PLANS
SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CALIFORNIA
4250 TOWN CENTER DRIVE
EROSION & SEDIMENTATION CONTROL PLAN

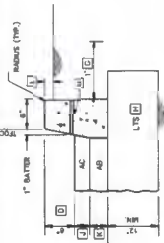
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SHEET 11 OF 12

NO.	DATE	BY	APP'D	DESCRIPTION

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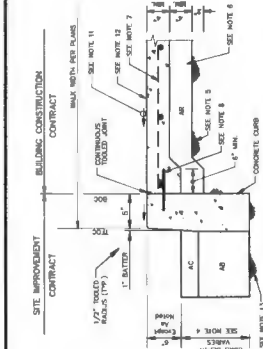
JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



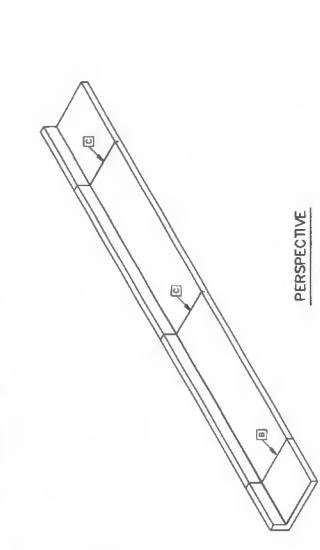
- NOTES**
- ALL WORK AND MATERIALS SHALL CONFORM TO THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS CONCRETE SHALL BE CLASS "B" 2" - 5-SACK MIX WITH 3" MAX. SLUMP.
 - INSTALL 1/2" PRECASTED EXPANSION JOINTS AT 60' MAX. SPACING AND AT ANGLE POINTS AND AT EACH END OF PAVEMENT SECTIONS.
 - INSTALL 1/4" DEEP BY 1/4" WIDE WEATHERED PLANE JOINTS WITH 1/4" RADIIUS TOLLED EDGES AT 10' MAXIMUM SPACING.
 - SEE PLANS FOR CURB HEIGHT (DEPRESSIONS FOR DRAINAGE, OVERLAYS, RAMP, ETC. VERIFY WITH OWNER) PRIOR TO CONSTRUCTION.
 - BOTTOM OF CURB TO EXTEND DOWN TO BOTTOM OF AB SECTION FOR ALL STRUCTURAL SECTION EXPANSION.
 - BACKFILL AND COMPACT PER GEOTECHNICAL ENGINEER. COMPACTED SUBGRADE TO EXTEND 2' (MIN) BEYOND BACK OF CURB.
 - CONCRETE FINISH TO BE 1" (MIN) OF BACK OF CURB TO SIDE WALK.
 - OPTIONAL CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - EXISTING CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - AC PER PLAN.
 - AB PER PLAN.
 - IF THE EXISTING 1/4" WIDE WEATHERED PLANE JOINTS ARE NOT WEAR SURF, WEAR SURF SHALL BE REPAIRED TO MATCH EXISTING JOINTS. VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
 - IF THE EXISTING 1/4" WIDE WEATHERED PLANE JOINTS ARE NOT WEAR SURF, WEAR SURF SHALL BE REPAIRED TO MATCH EXISTING JOINTS. VERIFY WITH OWNER PRIOR TO CONSTRUCTION.

1 STANDARD 6" BARRIER CURB
NTS

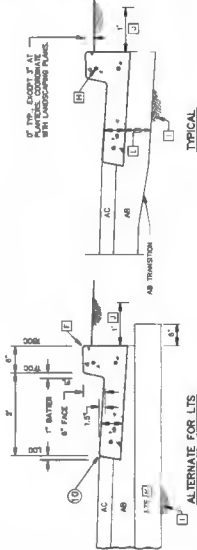


- NOTES**
- CURB AND MATERIALS SHALL CONFORM TO THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS (SCCS). CONCRETE SHALL BE CLASS "B" 2" - 5-SACK MIX WITH 3" MAX. SLUMP.
 - INSTALL 1/2" PRECASTED EXPANSION JOINTS AT 60' MAX. SPACING AND AT ANGLE POINTS AND AT EACH END OF PAVEMENT SECTIONS.
 - INSTALL 1/4" DEEP BY 1/4" WIDE WEATHERED PLANE JOINTS WITH 1/4" RADIIUS TOLLED EDGES AT 10' MAXIMUM SPACING.
 - SEE PLANS FOR CURB HEIGHT (DEPRESSIONS FOR DRAINAGE, OVERLAYS, RAMP, ETC. VERIFY WITH OWNER) PRIOR TO CONSTRUCTION.
 - BOTTOM OF CURB TO EXTEND DOWN TO BOTTOM OF AB SECTION FOR ALL STRUCTURAL SECTION EXPANSION.
 - BACKFILL AND COMPACT PER GEOTECHNICAL ENGINEER. COMPACTED SUBGRADE TO EXTEND 2' (MIN) BEYOND BACK OF CURB.
 - CONCRETE FINISH TO BE 1" (MIN) OF BACK OF CURB TO SIDE WALK.
 - OPTIONAL CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
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 - IF THE EXISTING 1/4" WIDE WEATHERED PLANE JOINTS ARE NOT WEAR SURF, WEAR SURF SHALL BE REPAIRED TO MATCH EXISTING JOINTS. VERIFY WITH OWNER PRIOR TO CONSTRUCTION.

2 BUILDING PERIMETER CURB
NTS



PERSPECTIVE



ALTERNATE FOR LOTS

SECTIONS

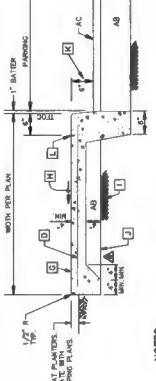
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- CURB AND MATERIALS SHALL CONFORM TO THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS (SCCS). CONCRETE SHALL BE CLASS "B" 2" - 5-SACK MIX WITH 3" MAX. SLUMP.
 - INSTALL 1/2" PRECASTED EXPANSION JOINTS AT 60' MAX. SPACING AND AT ANGLE POINTS AND AT EACH END OF PAVEMENT SECTIONS.
 - INSTALL 1/4" DEEP BY 1/4" WIDE WEATHERED PLANE JOINTS WITH 1/4" RADIIUS TOLLED EDGES AT 10' MAXIMUM SPACING.
 - SEE PLANS FOR CURB HEIGHT (DEPRESSIONS FOR DRAINAGE, OVERLAYS, RAMP, ETC. VERIFY WITH OWNER) PRIOR TO CONSTRUCTION.
 - APPLY FINE BROOK FRESH TRANSVERSE TO DIRECTION OF TRAVEL.
 - ALL EXPOSED EDGES SHALL HAVE 1/2" RADIUS.
 - BACK COAT VERTICAL EDGES OF CURB TO BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - EXISTING CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - CONCRETE FINISH TO BE 1" (MIN) OF BACK OF CURB TO SIDE WALK.
 - ALTERNATE SECTION LINE TREATED SUBGRADE PER GEOTECHNICAL REPORT.
 - IF 8" MIN. THICKNESS OF 3/4" CL. 2 AB AT EACH END OF VARIOUS SECTIONS.



LM LAUGENOUR AND MEIKLE
LICENSED PROFESSIONAL ENGINEER
CALIFORNIA LICENSE NO. 50779
DATE: 06/16/23 P.E. 50779

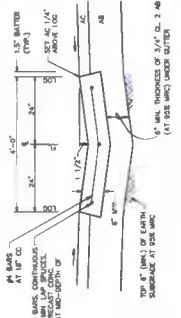


EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT
DATE: 07/21/23
JOB NO.: 2544-10-1



- NOTES**
- CURB AND MATERIALS SHALL CONFORM TO THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS (SCCS). CONCRETE SHALL BE CLASS "B" 2" - 5-SACK MIX WITH 3" MAX. SLUMP.
 - INSTALL 1/2" PRECASTED EXPANSION JOINTS PER SECS. COORDINATE WITH
 - INSTALL 1/4" DEEP BY 1/4" WIDE WEATHERED PLANE JOINTS WITH 1/4" RADIIUS TOLLED EDGES AT 10' MAXIMUM SPACING.
 - SEE PLANS FOR CURB HEIGHT (DEPRESSIONS FOR DRAINAGE, OVERLAYS, RAMP, ETC. VERIFY WITH OWNER) PRIOR TO CONSTRUCTION.
 - BOTTOM OF CURB TO EXTEND DOWN TO BOTTOM OF AB SECTION FOR ALL STRUCTURAL SECTION EXPANSION.
 - BACKFILL AND COMPACT PER GEOTECHNICAL ENGINEER. COMPACTED SUBGRADE TO EXTEND 2' (MIN) BEYOND BACK OF CURB.
 - CONCRETE FINISH TO BE 1" (MIN) OF BACK OF CURB TO SIDE WALK.
 - OPTIONAL CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - EXISTING CURB TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - AC PER PLAN.
 - AB PER PLAN.
 - IF THE EXISTING 1/4" WIDE WEATHERED PLANE JOINTS ARE NOT WEAR SURF, WEAR SURF SHALL BE REPAIRED TO MATCH EXISTING JOINTS. VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
 - IF THE EXISTING 1/4" WIDE WEATHERED PLANE JOINTS ARE NOT WEAR SURF, WEAR SURF SHALL BE REPAIRED TO MATCH EXISTING JOINTS. VERIFY WITH OWNER PRIOR TO CONSTRUCTION.

4 WALK WITH INTEGRAL CURB
NTS



- NOTES**
- CURB AND MATERIALS SHALL CONFORM TO THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS (SCCS). CONCRETE SHALL BE CLASS "B" 2" - 5-SACK MIX WITH 3" MAX. SLUMP.
 - APPLY FINE BROOK FRESH TO SURFACE OF GUTTER PARALLEL WITH FLOOR LINE.
 - ALL EXPOSED EDGES SHALL HAVE 1/2" RADIUS.
 - INSTALL 1/4" DEEP BY 1/4" WIDE WEATHERED PLANE JOINTS WITH 1/4" RADIIUS TOLLED EDGES AT 10' MAXIMUM SPACING.
 - SEE PLANS FOR CURB HEIGHT (DEPRESSIONS FOR DRAINAGE, OVERLAYS, RAMP, ETC. VERIFY WITH OWNER) PRIOR TO CONSTRUCTION.
 - APPLY FINE BROOK FRESH TRANSVERSE TO DIRECTION OF TRAVEL.
 - ALL EXPOSED EDGES SHALL HAVE 1/2" RADIUS.
 - BACK COAT VERTICAL EDGES OF GUTTER TO BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - EXISTING GUTTER TO BE JOINED SHALL BE DRILLED (3" DIA. DEPTH) AND DRILLED WITH 1/2" LENGTHS OF #4 REBAR SET IN GROUT.
 - CONCRETE FINISH TO BE 1" (MIN) OF BACK OF CURB TO SIDE WALK.
 - ALTERNATE SECTION LINE TREATED SUBGRADE PER GEOTECHNICAL REPORT.
 - IF 8" MIN. THICKNESS OF 3/4" CL. 2 AB AT EACH END OF VARIOUS SECTIONS.

5 4' WIDE CONCRETE VALLEY GUTTER
NTS

DESIGNED BY: JET	SCALE: scale	C701	SHEET 12 OF 12
DRAWN BY: MSW		SUPERIOR SELF STORAGE - PHASE 3	DATE: 07/21/23
CHECKED BY: JET		4250 TOWN CENTER DRIVE	JOB NO.: 2544-10-1
		EL DORADO HILLS, CALIFORNIA	
		DETAILS	

PD-R23-0003

PROPOSED TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (DIA.)	VELOCES	QUANTITY
	ACER AMBROSIA GOLD 11" T DIAMETER AT 4.5 FT. 11.5" H. FT.	COLUMBIAN GOLD LARLE	11.5" D.	MODERATE	10
	1.5" DIAMETER LARLE 13" T DIAMETER AT 10 FT. 13" H. FT.	FRS OR VIREBATE	13" D.	LOW	5
	LARLE MOBILE SENSATION 10" T DIAMETER AT 10 FT. 10" H. FT.	SARIS LARLE	10" D.	LOW	7
	SPREADER TREE 10" DIAMETER 10" T DIAMETER AT 10 FT. 10" H. FT.	SPREADER TREES	10" D.	UNASSURED	45-50/45

PROPOSED SHRUB & GROUNDCOVER LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (DIA.)	VELOCES	QUANTITY
	PERENNIALS / SMALL FLOWERING SHRUBS				
	PERENNIALS / SMALL FLOWERING SHRUBS				
	PERENNIALS / SMALL FLOWERING SHRUBS				
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	PERENNIALS / SMALL FLOWERING SHRUBS				



Great Valley Design, Inc.
Landscape Architecture
Land Planning
Water Management
1379 Spruce Lane
Palo Alto, CA
(650) 254-9090

PROJECT:
TOWN CENTER WEST STORAGE PHASE II

PROJECT SITE
4350 TOWN CENTER DRIVE
EL DORADO HILLS, CA 95762

OWNER:
SUNSHINE STORAGE



ARCHITECT NAME

PROJECT MANAGER

Scale
= 20' = 1"

DATE
JUL 19, 2023

REVISIONS

SHEET NO.
L-1

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval
[Signature]

RECEIVED
JUL 21 2023
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

SEE -2 FOR IRRIGATION EXTENTS AND ESTIMATED WATER USE. LANDSCAPE CONCEPT PLAN

PD-R23-0003

Great Valley Design, Inc.
 Landscape Architecture
 Land Planning
 Water Management
 Civil Engineer
 State No. 21812
 (949) 218-1200

PROJECT:
 TOWN CENTER SELF STORAGE PHASE II

PROJECT SITE:
 4350 TOWN CENTER DRIVE
 EL DORADO HILLS, CA 95762

OWNER:
 SUPREMACY STORAGE

ARCHITECT'S STAMP



TOWN CENTER PH III: WATER USE

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:
 $MAWA = ETo \times ETf \times LA \times 0.02$ (ETf FOR COMMERCIAL IS .45)

THE ESTIMATED WATER USE (EWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:
 $EWU = ETo \times PF \times HA \times 0.02$

ETo = ANNUAL EVAPOTRANSPIRATION 52.2" (CIBIS REFERENCE, FOLBOM CA)
 LA = TOTAL LANDSCAPE AREA 7,412 SQ. FT. (INCL. LUSH TREE CANOPIES AT MATURITY, SEE L-1)
 HA = HYDROZONE PLANT AREA (% OF 14,000 SQ. FT. AT PLANTING)
 PF = PLANT FACTOR (PLUS FOR TURF, 0.55 FOR MED. TREES AND SHRUBS AND TREES, .35 FOR LOW SHRUBS / GRASSES)
 ETf = 0.55 (EVAPOTRANSPIRATION FACTOR)
 0.02 = CONVERSION FACTOR (TO GALLONS)

MAWA = 52.2" x 0.45 x 7,412 x 0.02	=	107,948 gallons/year
High EWU = 52.2" x .65 x 0.000 x 0.02	=	00,000 gallons/year
Med EWU = 52.2" x 0.55 x 2,722 x 0.02	=	48,432 gallons/year
Low EWU = 52.2" x 0.35 x 2,890 x 0.02	=	53,125 gallons/year
EWU = 101,577		gallons/year



TOWN CENTER WEST
 DESIGN REVIEW COMMITTEE
 Preliminary Approval: [Signature]
 Date: [Blank]

PROJECT MANAGER
 Scale = 20' = 1" = 0"
 DATE: JULY 18, 2023
 REVIEWER
 SHEET NO.: L-2

EL DORADO COUNTY
 PLANNING AND BUILDING DEPARTMENT

JUL 21 2023

RECEIVED

SEE L-1 FOR PLANTING PLAN. IRRIGATION CONCEPT PLAN

PD-R23-0003

RECEIVED

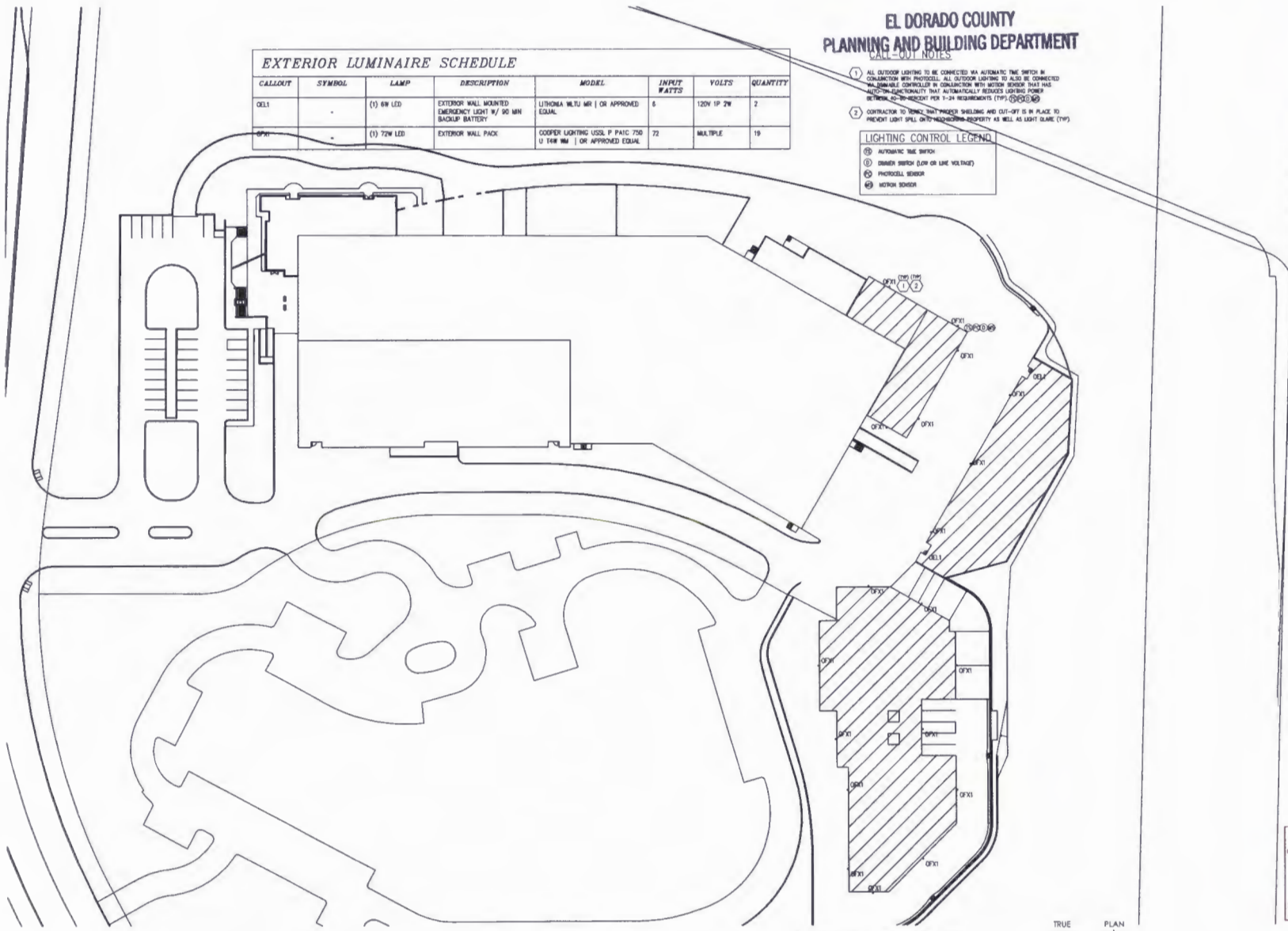
JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

- WALL-OUT NOTES
- ALL OUTDOOR LIGHTING TO BE CONNECTED VIA AUTOMATIC TIME SWITCH IN CONJUNCTION WITH PHOTOCELL. ALL OUTDOOR LIGHTING TO ALSO BE CONNECTED VIA DIMMABLE CONTROLLER IN CONJUNCTION WITH MOTION SENSOR THAT HAS MADE THE CONNECTION TO AN AUTOMATICALLY REDUCED LIGHTING POWER BETWEEN 40-50 PERCENT PER 3-24 REQUIREMENTS (TYP) (1) (2) (3) (4)
 - CONTRACTOR TO VERIFY THAT PROPER SHIELDING AND OUT-OFF IS IN PLACE TO PREVENT LIGHT SPILL OVER-ILLUMINATION PROPERTY AS WELL AS LIGHT GLARE (TYP)

EXTERIOR LUMINAIRE SCHEDULE							
CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	WATT FATTS	VOLTS	QUANTITY
0011	.	(1) 6W LED	EXTERIOR WALL MOUNTED EMERGENCY LIGHT W/ 90 MIN BACKUP BATTERY	LITHONIA MLTU MR OR APPROVED EQUAL	6	120V 1P 2W	2
0012	.	(1) 72W LED	EXTERIOR WALL PACK	COOPER LIGHTING USGL P PAIC 750 U 14W 9M OR APPROVED EQUAL	72	MULTIPLE	19

- LIGHTING CONTROL LEGEND
- (1) AUTOMATIC TIME SWITCH
 - (2) DIMMER SWITCH (LOW OR LINE VOLTAGE)
 - (3) PHOTOCELL SENSOR
 - (4) MOTION SENSOR



ELECTRICAL SITE PLAN
SCALE: NONE



TOWN CENTER WEST
ELECTION REVIEW COMMITTEE
Preliminary Approval: _____
M. Harris

E1

VALLI
ARCHITECTURAL
GROUP

7.17.2023

SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

PD-R23-0003

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



PHOTOMETRIC LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT VA	VOLTS	QUANTITY
DFXL	*	(1) 72W LED	EXTERIOR WALL PACK	COOPER LIGHTING USLL P PAC1 750 U 14W 10M OR APPROVED EQUAL	72	MULTIPLE	10

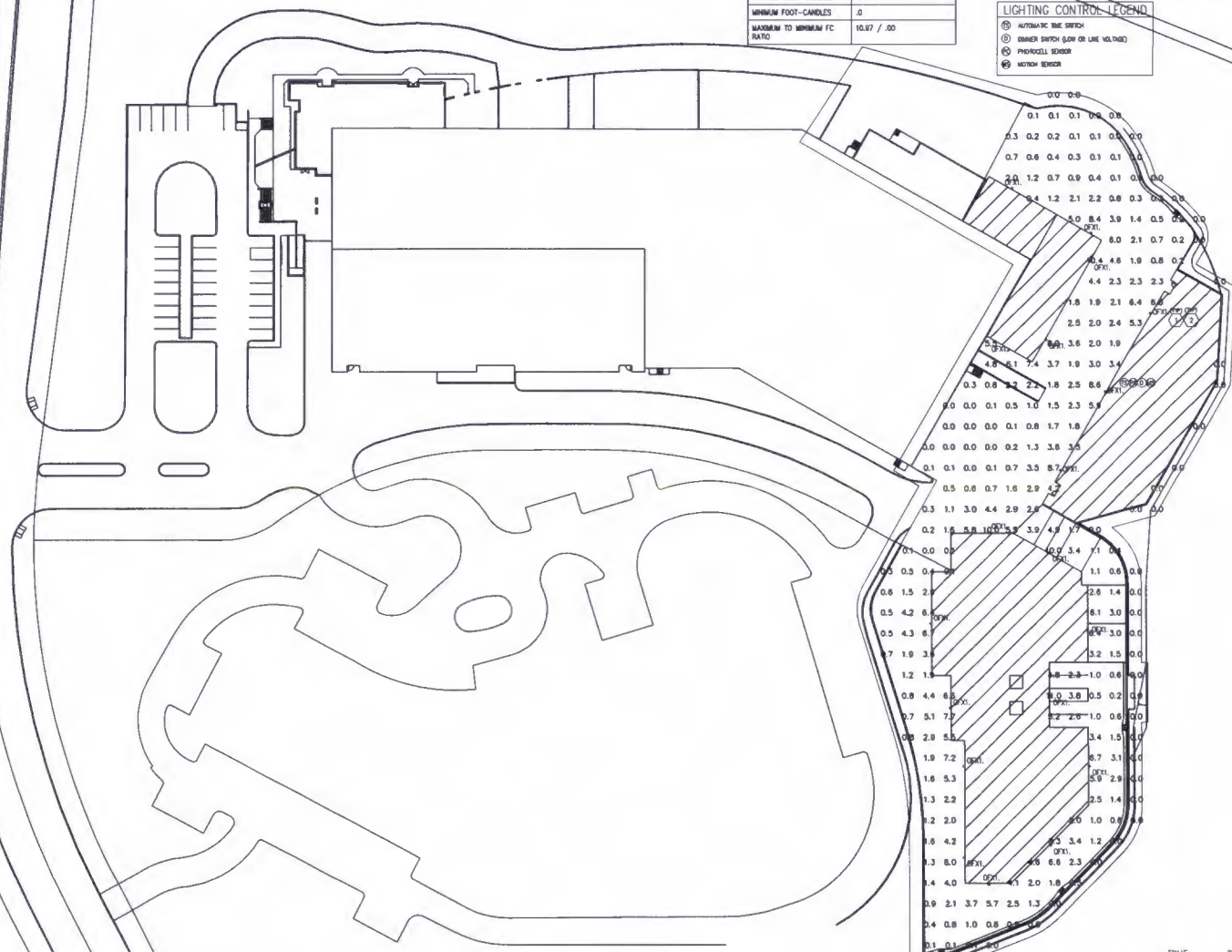
GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDELES	2.23
MAXIMUM FOOT-CANDELES	71.0
MINIMUM FOOT-CANDELES	.0
MAXIMUM TO MINIMUM FC RATIO	10.07 / .00

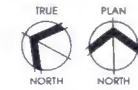
- ALL OUTDOOR LIGHTING TO BE CONNECTED VIA AUTOMATIC TIME SWITCH IN CONJUNCTION WITH PHOTOCELL. ALL OUTDOOR LIGHTING TO ALSO BE CONNECTED VIA DIMMABLE CONTROLLER IN CONJUNCTION WITH MOTION SENSOR THAT HAS AUTO-OFF FUNCTIONALITY THAT AUTOMATICALLY REDUCES LIGHTING POWER BETWEEN 40-80 PERCENT PER 7-24 REQUIREMENTS (TP1) (C) (C) (C)
- CONTRACTOR TO VERIFY THAT PROPER SHIELDING AND CUT-OFF IS IN PLACE TO PREVENT LIGHT SPILLING INTO NEIGHBORING PROPERTY AS WELL AS LIGHT GLARE (TP1)

LIGHTING CONTROL LEGEND

- ⊙ AUTOMATIC TIME SWITCH
- ⊕ DIMMER SWITCH (LOW OR LINE VOLTAGE)
- ⊗ PHOTOCELL SENSOR
- ⊕ MOTION SENSOR



SITE PHOTOMETRICS
SCALE: NONE



TOWNSHIP CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval: _____
M. Harris

SUPERIOR SELF STORAGE - PHASE 3
EL DORADO HILLS, CA

E2 **VALLI ARCHITECTURAL GROUP**

7.17.2023

PD-R23-0003

Streetworks USSSL Discrete LED

Area / Site Luminaire

Product Features

- Interactive Menu
 - Ordering Information
 - Mounting Details
 - Optical Configurations
 - Product Specifications
 - Energy and Performance Data
 - Control Options

Product Certifications

- ETL
- IESNA
- IC
- PSE
- VDE
- CE

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and waists comfort
- Luminaire packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficiencies up to 157 lumens per watt
- Standard universal quick mount arm with universal end pattern

Dimensional Details

Streetworks		USSSL Discrete LED																																							
Ordering Information SAMPLE NUMBER: USSSL-01-790-0-100-00																																									
<table border="1"><tr><th>Product</th><th>Model</th><th>Wattage</th><th>Height</th><th>Beam Angle</th><th>Color</th><th>Material</th><th>Finish</th><th>Mounting</th><th>Accessories</th><th>Notes</th><th>Notes</th><th>Notes</th><th>Notes</th></tr><tr><td>USSSL-01-790-0-100-00</td><td>790-0</td><td>100W</td><td>100"</td><td>100°</td><td>White</td><td>Aluminum</td><td>Matte</td><td>Standard</td><td>None</td><td></td><td></td><td></td><td></td></tr></table>														Product	Model	Wattage	Height	Beam Angle	Color	Material	Finish	Mounting	Accessories	Notes	Notes	Notes	Notes	USSSL-01-790-0-100-00	790-0	100W	100"	100°	White	Aluminum	Matte	Standard	None				
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Connect Systems • WaveLinx																																									

Streetworks		USSSL Discrete LED																																							
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Connect Systems • WaveLinx																																									

TOWN CENTER WEST
DESIGN REVIEW COMMITTEE
Preliminary Approval

CUT SHEETS
SCALE: NONE



7.17.2023

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

117:16

1" = 400'

4250 Town Center Blvd.
El Dorado Hills, CA 95762

APN: 117-160-064-000

Phase 3 Application
File # PA22-0014

POR. SEC. 11, T.9N., R.8E., M.I.D.M.



THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify facts such as dimensions and acreage.

Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
Assessor's Book Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

***Parcel Notes**

- 60 - PM 50/17/A
- 61 - PM 50/17/B

Rev. NOV 9 2017 Assessor's Map Bk. 117 - Pg. 16
County of El Dorado, CA

PD-R23-0003

4250 Town Center Blvd.
El Dorado Hills, CA 95762

APN: 117-160-064-000

Phase 3 Application
File # PA22-0014

EL DORADO HILLS
PLANNING AND UTILITIES DEPARTMENT

JUL 21 2023

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PD-R23-0003

RECEIVED

JUL 21 2023

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

4250 Town Center Blvd, El Dorado Hills – List of Partners

Alleghany Storage Group
4120 Douglas Blvd, Suite 305 – 524
Granite Bay, CA 95762
Principle: David Kindelt
(916) 789-0500

Valley Star Partners, LLC
837 Jefferson Blvd
West Sacramento, CA
Principle: Mark Engstrom
(916) 371-0297

ELK 1 Ventures, LLC
10981 Olana Dr
Truckee, CA
Principle: Erik Pilegaard
(916) 425-5858

PD-R23-0003