



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

APPLICATION FOR: **CONDITIONAL/MINOR USE PERMIT** FILE # CUP21-0010

ASSESSOR'S PARCEL NO.(s) 124-301-045-000

PROJECT NAME/REQUEST: (Describe proposed use) Quick Quack Car Wash

Fully Automated Car Wash

APPLICANT/AGENT Quick Quack Car Wash Holdings, LLC.

Mailing Address 1380 Lead Hill Blvd., Suite 260 Roseville CA., 95661
P.O. Box or Street City State & Zip

Phone (916) 451-1500 ext 102 EMAIL: brianf@crmarchitects.com

PROPERTY OWNER Sophia Parkway Retail Partners, LLC. c/o Sutter Retail Development Corporation ATTN: Kristen Longwell
ATTN: Kurt Hilbers

Mailing Address 770 N Walton Avenue Yuba City CA., 95993
P.O. Box or Street City State & Zip

Phone (530) 218-5978 EMAIL: kurt@hillbersinc.com/Kristen@srdc.com

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Bruce LaRose (CRM Architects & Planners, Inc.)

Mailing Address 5800 Stanford Ranch Road, Suite 720 Rocklin CA., 95765
P.O. Box or Street City State & Zip

Phone (916) 451-1500 EXT 102 EMAIL: brianf@crmarchitects.com

LOCATION: The property is located on the South West side of Green Valley and Sophia
N / E / W / S street or road

 feet/miles of the intersection with
N / E / W / S major street or road

in the area. PROPERTY SIZE 1.11 +/- Acre
 acreage / square footage

X Brian D. Fur signature of property owner or authorized agent Date 12-15-2021

FOR OFFICE USE ONLY

Date 12/20/21 Fee \$ 2883.00 Receipt # R36372 Rec'd by MAA2 Census

Zoning GPD Supervisor Dist Sec Twn Rng

ACTION BY **PLANNING COMMISSION**
 ZONING ADMINISTRATOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date

Hearing Date

Approved Denied
findings and/or conditions attached

Approved Denied
findings and/or conditions attached

APPEAL:
Approved Denied

Executive Secretary

2021 DEC 20 PM 2:1
RECEIVED
PLANNING DEPARTMENT



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

PLANNED DEVELOPMENT

FILE # PD21-0004

ASSESSOR'S PARCEL NO.(s) 124-301-045-000

PROJECT NAME/REQUEST: (Describe proposed use) Quick Quack Car Wash

Fully Automated Car Wash

IF SUBDIVISION/PARCEL MAP: Create _____ lots, ranging in size from _____ to _____ acre(s) / SF

IF ZONE CHANGE: From _____ to _____ IF GENERAL PLAN AMENDMENT: From _____ to _____

IF TIME EXTENSION, REVISION, CORRECTION: Original approval date _____ Expiration date _____

APPLICANT/AGENT Quick Quack Car Wash Holdings, LLC.B

Mailing Address 1380 Lead Hill Bld., Suite 260 Roseville CA. 95661
P.O. Box or Street _____ City _____ State & Zip _____

Phone (916) 451-1500 EXT 102 EMAIL: brianf@crmarchitects.com

PROPERTY OWNER Sophia Parkway Retail Partners c/o Retail Development Corporation ATTN: Kurt Hilbers & Kristen Longwell

Mailing Address 770 N. Walton Avenue Yuba City CA. 95993
P.O. Box or Street _____ City _____ State & Zip _____

Phone (530) 218-5978 EMAIL: kurt@hilbersinc.com/kristen@srdc.co

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Bruce LaRose (CRM Architects & Planners, Inc.)

Mailing Address 5800 Stanford Ranch Road Rocklin CA. 95661
P.O. Box or Street _____ City _____ State & Zip _____

Phone (916) 451-1500 EXT 102 EMAIL: brianf@crmarchitects.com

LOCATION: The property is located on the SELECT ONE SW side of Green Valley Road and Sophia
_____ N / E / W / S _____ street or road

_____ feet/miles SELECT ONE of the intersection with _____
_____ N / E / W / S _____ major street or road

in the _____ area. PROPERTY SIZE 1.11 Acre +/-
_____ acreage / square footage

X Brian D. Fuenyo Date 12-14-2021
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 12/20/21 Fee \$ 3171.00 Receipt # R36373 Rec'd by MAAA Census _____
Zoning _____ GPD _____ Supervisor Dist _____ Sec _____ Twn _____ Rng _____

ACTION BY _____ PLANNING COMMISSION
_____ ZONING ADMINISTRATOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____
findings and/or conditions attached

Approved _____ Denied _____
findings and/or conditions attached

APPEAL:
Approved _____ Denied _____

Executive Secretary _____

Brian Firenze

From: Rommel Pabalinas <rommel.pabalinas@edcgov.us>
Sent: Thursday, September 23, 2021 8:07 AM
To: Brian Firenze
Subject: Re: Updated invitation: Call with Brian Firenze @ Thu Sep 23, 2021 10:15am - 10:30am (PDT) (brianf@crmarchitects.com)

In advance of our call here are the Planned Development Permit, Conditional Use Permit applications and fee schedule (see excerpt).

<https://www.edcgov.us/Government/planning/Documents/Planned-Development-Form-Revised-11-21-17%20%282%29.pdf>

<https://www.edcgov.us/Government/planning/Documents/Conditional-Minor-Use-Permit-Form-Revised-11-17-17.pdf>

<https://www.edcgov.us/Government/building/Documents/CD%20Matrix%206.19.21%20%281%29.pdf>

CONDITIONAL USE PERMIT				
Application	\$1,000 T&M	\$283	\$1,600 T&M	\$2,883 TM

PLANNED DEVELOPMENT				
Commercial / Industrial / Residential	\$1,000 T&M	\$171	\$2,000 T&M	\$3,171 T&M

On Thu, Sep 23, 2021 at 7:39 AM Brian Firenze <brianf@crmarchitects.com> wrote:
Rommel-

Yes. Please call at 10:15



TRANSMITTAL

2021 CLC 20 P. 2:
RECEIVED
PLANNING DEPARTMENT



5800 Stanford
Ranch Rd. Suite 720
Rocklin, Ca. 95765
Phone: 916-451-1500
Fax: 916-451-1600

Date: **12/17/2021**
To: **El Dorado Co. Planning & Bldg Dept.**
Attn: **Rommel Pabalinas**
Address: **2850 Fairlane Court, Building C**
City/State/Zip **Placerville, CA. 95667**
Phone/Fax: **530-621-5363**
From: **Brian Firenze**
Project Name/#: **Quick Quack Car Wash-Sofia**

QUANTITY	Submittal #1-Quick Quack Car Wash
4	Sets of Plans 24" X 36" (Stapled and Folded)
1	CUP Application
1	Planned Development Application
2	Copies Soils Report
2	Copies Noise Study
2	Copies Record Search
2	Copies Preliminary Title Report
2	Copies Grant Deed
1	Check # 67669 Amount \$6,054.00
1	Email Back Up for Fees

Per your request. Thank You Rommel! Please let me know if you need anything else, thanks

CUP21-0010,PD21-0004

Preliminary Report

Issued For The Sole Use Of:

- Stewart Title – Sierra Oaks
-
-
-

Escrow No.: SO-01038329-LR

Title No.: 34-256476

Reference:

When Replying Please Contact:

Attn: Lisa Ryan

Stewart Title of Sacramento
3461 Fair Oaks Blvd., Ste. 150
Sacramento, California 95864
Phone: (916) 484-6500

Property Address:

230 Green Valley Road, El Dorado Hills, California 95762

In response to the above reference application for a policy of title insurance, **First American Title Insurance Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception in Schedule **B** or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage of said Policy or Policies are set forth in the attached list. Copies of the Policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit "B" of this report carefully. Limitations on covered risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance which establish a deductible amount and a maximum dollar limit of liability for certain coverages are set forth in Exhibit "B". The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this Preliminary Report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

Dated as of June 2, 2021 at 7:30 a.m. Leticia Doman

Title Officer
Leticia Doman / mr

Title No.: 34-256476

Schedule A

The form of policy of title insurance contemplated by this report is:

CLTA STANDARD

The estate or interest in the land hereinafter described or referred to covered by this Report is: A Fee

Title to said estate or interest at the date hereof is vested in:

Sophia Parkway Retail Partners, LLC, a California limited liability company

The land referred to in this Report is situated in the State of California, County of Placer, and is described as follows:

See Exhibit "A" attached hereto and made a part hereof.

Title No.: 34-256476

Exhibit "A"
Legal Description

PARCEL 1, AS SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP", BEING A PORTION OF THE NW 1/4 OF SECTION 28 AND THE SW 1/4 OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 8 EAST, MOUNT DIABLO MERIDIAN, WHICH MAP WAS FILED FOR RECORD ON OCTOBER 15, 2009, IN BOOK 50 OF PARCEL MAPS, PAGE 82, EL DORADO COUNTY RECORDS.

APN: 124-301-045

Schedule B

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in the policy form designated on the face page of this report would be as follows:

- A. Taxes for the Fiscal Year 2021-2022, a lien not yet due or payable.
 - B. Said land lies within the boundaries of the Special Tax – Election of 11/2/04, Library Services El Dorado Hills, Zone E and is subject to any bonds, assessments, charges and bills of said district, which amounts are collected with county taxes. Amounts may be obtained by contacting said district at (530) 621-5154.
 - C. Said land lies within the boundaries of the Special Tax – Election of 11/8/83 Measure B, CC&R Compliance and is subject to any bonds, assessments, charges and bills of said district, which amounts are collected with county taxes. Amounts may be obtained by contacting said district at (800) 273-5167.
 - D. Taxes and assessments levied by the El Dorado Irrigation District. Further information may be obtained by contacting said district at 2890 Mosquito Rd., Placerville, CA 95667, Phone (530) 622-4513.
 - E. The Lien of Supplemental Taxes, if any, assessed pursuant to the provisions of Chapter 3.5, Revenue and Taxation Code, Section 75 et seq.
1. An easement over said land for pipeline facilities and incidental purposes as Granted to El Dorado Irrigation District, in Deed recorded August 28, 1987, in Book 2816, Page 446, Official Records.

Affects as described therein.
 2. Terms, conditions and provisions contained in the instrument entitled "Easement Agreement", recorded July 12, 1999, Series No. 1999-043177, Official Records.
 3. An easement over said land for construction and maintenance of slopes and drainage systems and incidental purposes as Granted to the County of El Dorado, in Deed recorded November 29, 2001, Series No. 2001-0077525, Official Records.

Affects as described therein.
 4. An offer of dedication for slope easements and incidental purposes, to the County of El Dorado, recorded June 28, 2002, Series No. 2002-0046958 of Official Records.
 5. Dedications as set forth and shown on the Parcel Map filed in Book 50, Page 82, as follows:
 - a. Slope easements as shown on the map.

Preliminary Report Exceptions (Continued....)

Title No.: 34-256476

6. An Irrevocable Offer of Dedication over a portion of said land for road and public utilities and incidental purposes as offered for dedication in instrument recorded October 15, 2009, Series No. 2009-51872, Official Records.
7. The terms and provisions contained in the document entitled "Agreement (License to Remove Fill Dirt)" recorded August 3, 2015 as Document No. 2015-36191 of Official Records.
8. Rights of the public in and to that portion of the land lying within any Road, Street, Alley or Highway.
9. Rights or claims of any party in possession. (Owners Affidavit)
10. Deed of Trust to secure an indebtedness of \$900,000.00, dated March 3, 2020, recorded March 17, 2020, Series No. 2020-0012410, Official Records.

Trustor: Sophia Parkway Retail Partners, LLC, a California limited liability company
Trustee: First American Title Company
Beneficiary: Plumas Bank
Loan No. 246704505
Address: 1335 Hilltop Dr., Redding, CA 96003

11. Prior to the issuance of any policy of title insurance, the company will require the following with respect to Sophia Parkway Retail Partners, LLC, a California limited liability company:
 1. A copy of its operating agreement and any amendments thereto must be submitted to the Company for review.
 2. A certified copy of its articles of organization (LLC-1), any certificate of correction (LLC-11), certificate of amendment (LLC-2), or restatement of articles of organization (LLC-10), must be submitted to the Company for review.

NOTE:

Prior to the issuance of any policy of title insurance, the company will require the following with respect to EDH Green Valley Holdings, LLC, a California limited liability Company:

1. A copy of its operating agreement and any amendments thereto must be submitted to the Company for review.
2. A certified copy of its articles of organization (LLC-1), any certificate of correction (LLC-11), certificate of amendment (LLC-2), or restatement of articles of organization (LLC-10), must be submitted to the Company for review.

Tax Note: For Proration Purposes Only

- General and Special Taxes for the Fiscal Year 2020-2021, and any assessments and charges collected therewith,

1st Installment \$5,203.66 Paid
2nd Installment \$5,203.66 Paid

Parcel No. 124-301-045 Code Area 100-013 Land \$974,188.00

Included in the above installments is the amount of \$25.00, for the Special Tax – Election of 11/2/04, Library Services El Dorado Hills, Zone E.

Included in the above installments is the amount of \$10.00, for the Special Tax – Election of 11/8/83, Measure B, CC&R Compliance.

- Supplemental Taxes, assessed pursuant to the provisions of Chapter 498, Statutes of 1983 of the State of California, for the Fiscal Year 2019.

Supplemental Bill No. 990-028-578

1st Installment \$727.64 PAID
2nd Installment \$727.64 PAID

- Supplemental Taxes, assessed pursuant to the provisions of Chapter 498, Statutes of 1983 of the State of California, for the Fiscal Year 2019.

Supplemental Bill No. 990-028-518

1st Installment \$2,799.16 PAID
2nd Installment \$2,799.16 PAID

According to those public records which under the recording laws impart constructive notice to the title to the land described herein, the following matters constitute the chain of title for the thirty-six month period preceding the dated hereof:

Grant Deed executed by RAP Sunnyside LLC, an Oregon limited liability company to Sophia Parkway Retail Partners, LLC, a California limited liability company, recorded March 17, 2020, Series No. 2020-0012409, Official Records.

Note: California "Good Funds" Law Effective January 1, 1990, California Insurance Code Section 12413.1 (Chapter 598, Statutes OF 1989), Prohibits A Title Company From Disbursing Funds From An Escrow Or Sub-Escrow Account, (Except For Funds Deposited By **Wire Transfer, Electronic Payment Or Cash**) Until The Day These Funds Are Made Available To The Depositor Pursuant To Part 229 Of Title 12 Of The Code Of Federal Regulations, (Reg. CC). items such as cashier's, certified or teller's checks may be available for disbursement on the business day following the business day of deposit: however, other forms of deposits may cause extended delays in closing the escrow or sub-escrow.

"Stewart Title Of Placer Will Not Be Responsible For Accruals Of Interest Or Other Charges Resulting From Compliance With The Disbursement Restrictions Imposed By State Law".

Note: If an ALTA residential owner's policy is requested and if the property described above is determined to be eligible for this policy, the following Exceptions From Coverage will appear in the policy:

1. Taxes or assessments which are not shown as liens by the public records or by the record of any taxing authority.
2. (a) Water rights, claims or title to water; (b) Reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) Unpatented mining claims; whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
3. Any rights, interests or claims of parties in possession of the land which are not shown by the public records.
4. Any easements or liens not shown by the public records. This exception does not limit the lien coverage in Item 8 of the Covered Title Risks.
5. Any facts about the land which a correct survey would disclose and which are not shown by the public records. This exception does not limit the forced removal coverage in Item 12 of the Covered Title Risks.

Lenders Supplemental Report

This report (including any supplements or amendments thereto) is hereby modified and or supplemented in order to reflect the following additional items relating to the issuance of an American Land Title Association Loan Form Policy as follows:

- () ALTA inspection report to follow.
- () A physical inspection has been made and no survey will be required. Our ALTA Policy when issued will include Endorsement No. 100.
- (X) Said land is also known as

230 Green Valley Road, El Dorado Hills, California 95762

State of California, County of El Dorado.

Exhibit "B"

CLTA PRELIMINARY REPORT FORM LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (Revised 06/17/06)

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY - 1990 EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy
(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
(a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
(b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
(c) resulting in no loss or damage to the insured claimant;
(d) attaching or created subsequent to Date of Policy; or
(e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, Or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors, rights laws.

EXCEPTIONS FROM COVERAGE SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof. not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.

5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

CLTA HOMEOWNER'S POLICY OF TITLE INSURANCE (02-03-10)
ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE
EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning: a. building; b. zoning; c. land use; d. improvements on the Land; e. land division; and f. environmental protection This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes, This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks: a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records; b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date; c. that result in no loss to You; or d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28,
5. Failure to pay value for Your Title.
6. Lack of a right: a. to any Land outside the area specifically described and referred to in paragraph 3 of Schedule A; and b. in streets, alleys, or waterways that touch the Land This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
7. The transfer of the Title to You is invalid as preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1 % of Policy Amount or \$ <u>2,500.00</u> (whichever is less)	\$ <u>10,000.00</u>
Covered Risk 18:	1% of Policy Amount or \$ <u>5,000.00</u> (whichever is less)	\$ <u>25,000.00</u>
Covered Risk 19:	1% of Policy Amount or \$ <u>5,000.00</u> (whichever is less)	\$ <u>25,000.00</u>
Covered Risk 21:	1% of Policy Amount or \$ <u>2,500.00</u> (whichever is less)	\$ <u>5,000.00</u>

**AMERICAN LAND TITLE ASSOCIATION
RESIDENTIAL TITLE INSURANCE POLICY (6-1-87)
EXCLUSIONS**

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
 - Land use • Improvements on the land • Land division • Environmental protectionThis exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.
This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.
2. The right to take the land by condemning it, unless:
 - a notice of exercising the right appears in the public records
 - on the Policy Date
 - the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
3. Title Risks:
 - that are created, allowed, or agreed to by you
 - that are known to you, but not to us, on the Policy Date -- unless they appeared in the public records
 - that result in no loss to you
 - that first affect your title after the Policy Date -- this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks
4. Failure to pay value for your title
5. Lack of a right:
 - to any land outside the area specifically described and referred to in Item 3 of Schedule AOR
 - in streets, alleys, or waterways that touch your land

This exclusion does not limit the access coverage in Item 5 of Covered Title Risk.

**AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (10-17-92)
WITH ALTA ENDORSEMENT - FORM 1 COVERAGE
EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;

(d) attaching or created subsequent to Date of Policy (except to the extent that this policy insures the priority of the lien of the insured mortgage over any statutory lien for services, labor or material or to the extent insurance is afforded herein as to assessments for street improvements under construction or completed at Date of Policy); or
(e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage.

4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law,
6. Any statutory lien for services, labor or materials (or the claim of priority of any statutory lien for services, labor or materials over the lien of the insured mortgage) arising from an improvement or work related to the land which is contracted for and commenced subsequent to Date of Policy and is not financed in whole or in part by proceeds of the indebtedness secured by the insured mortgage which at Date of Policy the insured has advanced or is obligated to advance.
7. Any claim, which arises out of the transaction creating the interest of the mortgagee insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:
 - (i) the transaction creating the interest of the insured mortgagee being deemed a fraudulent conveyance or fraudulent transfer; or
 - (ii) the subordination of the interest of the insured mortgagee as a result of the application of the doctrine or equitable subordination; or
 - (iii) the transaction creating the interest of the insured mortgagee being deemed a preferential transfer except where the preferential transfer results from the failure:
 - (a) to timely record the instrument of transfer; or
 - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.

The above policy forms may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following General Exceptions:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

2006 ALTA LOAN POLICY (06/17106) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;

(iii) the subdivision of land; or
(iv) environmental protection;
or the effect of any violation of these laws, ordinances, or governmental regulations, This Exclusion I (a) does not modify or limit the coverage provided under Covered Risk 5.

(b) Any governmental police power. This Exclusion I (b) does not modify or limit the coverage provided under Covered Risk 6.

2. Rights of eminent domain, This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8,
3. Defects, liens, encumbrances, adverse claims, or other matters.
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy. but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law,
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records, This Exclusion does not modify or limit the coverage provided under Covered Risk 11 (b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage, In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2.. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (10/11/92)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the estate or interest insured by this policy.
4. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:
 - (i) the transaction creating the estate or interest insured by this policy being deemed a fraudulent conveyance or 0 fraudulent transfer; or
 - (ii) the transaction creating the estate or interest insured by this policy being deemed a preferential transfer except where the preferential transfer results from the failure:
 - (a) to timely record the instrument of transfer; or
 - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.The above policy forms may be issued to afford either Standard Coverage or Extended Coverage, In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage Policy will also include the following General Exceptions:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

2006 ALTA OWNER'S POLICY (06/17/06)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion I (a) does not modify or limit the coverage provided under Covered Risk 5.
(b) Any governmental police power. This Exclusion I(b) does not modify or limit the coverage provided under Covered Risk 6
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims, or other matters.
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date title Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown in the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and that are not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

POR. SECS. 21 & 28, T.10N., R.8E., M.D.M.

124:30

1" = 400'

Folsom Lake

Bk 110 Pg 44

- *PARCEL NOTES**
 All parcels on this page are Assessor's Block 1.
- ① - PM 14/145/3
 - ② - PM 14/129/A, 0.23 A
 - ③ - PM 14/129/B, 0.169 A
 - ④ - PM 14/129/C, 0.23 A
 - ⑤ - PM 10/1/1
 - ⑥ - PM 10/1/2
 - ⑦ - RS 35/116
 - ⑧ - PPM 46/65/3
 - ⑨ - PPM 46/65/2
 - ⑩ - PM 6/65
 - ⑪ - PPM 6/65/B
 - ⑫ - PM 3/88/A
 - ⑬ - PM 14/128/1, 0.46 A
 - ⑭ - PPM 14/128/2, 0.408 A
 - ⑮ - PM 14/145/2, 0.32 A
 - ⑯ - PM 14/145/1, 0.19 A



Acreages Are Estimates

Adjacent Map Pages Shown in Gray Text
 Assessor Block Numbers Shown in Ellipses
 Assessor Parcel Numbers Shown in Circles

Rev. JAN 12, 2017

Assessor's Map Bk. 124 - Pg. 30
 County of El Dorado, CA

"IMPORTANT: This plat is not a survey. It is merely furnished as a convenience to locate the land in relation to adjoining streets and other lands and not to guarantee any dimensions, distances, bearings, or acreage."

Description: El Dorado, CA Assessor Map - Book Page 124.30 Page: 1 of 1
 Order: iukfgy Comment:

THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.



First American

myFirstAm® Recorded Document

The Recorded Document images are displayed in the subsequent pages for the following request:

State: CA
County: EL DORADO

Document Number: 00000012409
Document Date: 20200317

2021 DEC 20 PM 2:30
RECEIVED
PLANNING DEPARTMENT

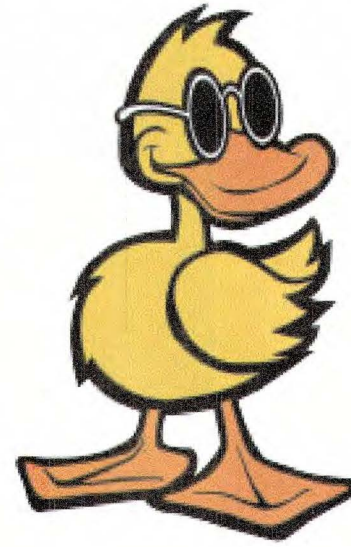
Limitation of Liability for Informational Report

IMPORTANT – READ CAREFULLY: THIS REPORT IS NOT AN INSURED PRODUCT OR SERVICE OR A REPRESENTATION OF THE CONDITION OF TITLE TO REAL PROPERTY. IT IS NOT AN ABSTRACT, LEGAL OPINION, OPINION OF TITLE, TITLE INSURANCE COMMITMENT OR PRELIMINARY REPORT, OR ANY FORM OF TITLE INSURANCE OR GUARANTY. THIS REPORT IS ISSUED EXCLUSIVELY FOR THE BENEFIT OF THE APPLICANT THEREFOR, AND MAY NOT BE USED OR RELIED UPON BY ANY OTHER PERSON. THIS REPORT MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT FIRST AMERICAN'S PRIOR WRITTEN CONSENT. FIRST AMERICAN DOES NOT REPRESENT OR WARRANT THAT THE INFORMATION HEREIN IS COMPLETE OR FREE FROM ERROR, AND THE INFORMATION HEREIN IS PROVIDED WITHOUT ANY WARRANTIES OF ANY KIND, AS-IS, AND WITH ALL FAULTS. AS A MATERIAL PART OF THE CONSIDERATION GIVEN IN EXCHANGE FOR THE ISSUANCE OF THIS REPORT, RECIPIENT AGREES THAT FIRST AMERICAN'S SOLE LIABILITY FOR ANY LOSS OR DAMAGE CAUSED BY AN ERROR OR OMISSION DUE TO INACCURATE INFORMATION OR NEGLIGENCE IN PREPARING THIS REPORT SHALL BE LIMITED TO THE FEE CHARGED FOR THE REPORT. RECIPIENT ACCEPTS THIS REPORT WITH THIS LIMITATION AND AGREES THAT FIRST AMERICAN WOULD NOT HAVE ISSUED THIS REPORT BUT FOR THE LIMITATION OF LIABILITY DESCRIBED ABOVE. FIRST AMERICAN MAKES NO REPRESENTATION OR WARRANTY AS TO THE LEGALITY OR PROPRIETY OF RECIPIENT'S USE OF THE INFORMATION HEREIN.

ERROR: rangecheck
OFFENDING COMMAND: image

OPERAND STACK:
--nostringval--

NEW CAR WASH FACILITY



GREEN VALLEY ROAD
AND SOPHIA PARKWAY
EL DORADO HILLS, CA. 95762
APN: 124-301-045
QUICK QUACK SITE I.D. #6-073

CONTACT INFORMATION

APPLICANT: QUICK QUACK DEVELOPMENT II, LLC
ATTN: EFRAIN CORONA
1380 LEAD HILL BLYD #260
ROSEVILLE, CA. 95661
916.846.2100
EFRAIN@DONTDRIVEDIRTY.COM

OWNER: MONTEREY PENINSULA RETAIL INVESTMENTS
TERRENCE TALLEN
203 FLAMINGO ROAD
MILL VALLEY, CA. 94941
415.286.0712
TTALLEN@TALLENCAPITAL.COM

ARCHITECT: CRM ARCHITECTS
ATTN: MARK MCILVAIN
5800 STANFORD RANCH #T20
ROCKLIN, CA. 95765
916.451.1500
MARKM@CRMARCHITECTS.COM

DRAWING INDEX

NO.	DRAWING TITLE
A0.0	AERIAL SITE PLAN AND COVER SHEET
1	ALTA COVER PAGE
2	ALTA SURVEY
C1.1	CIVIL COVER SHEET
C2.1	HORIZONTAL CONTROL PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
A1.0	OVERALL SITE PLAN
A1.1	SITE PLAN
A1.2	LANDSCAPE PLAN
A1.3	PHOTOMETRIC PLAN
A2.0	FLOOR PLAN
A2.1	ROOF PLAN
A3.0	CAR WASH EXTERIOR ELEVATIONS
A3.1	CAR WASH EXTERIOR ELEVATIONS
A3.2	ARCH ELEVATIONS
A3.3	PILASTER ELEVATIONS
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A3.5	COLOR ELEVATIONS
A4.0	PAY CANOPY ELEVATIONS
A4.1	SOUTH VACUUM CANOPY ELEVATIONS
A4.2	NORTH VACUUM CANOPY ELEVATIONS
A4.3	TYPICAL VACUUM CANOPY COLOR ELEVATIONS
A5.0	SITE ELEMENTS
A5.1	SITE ELEMENTS

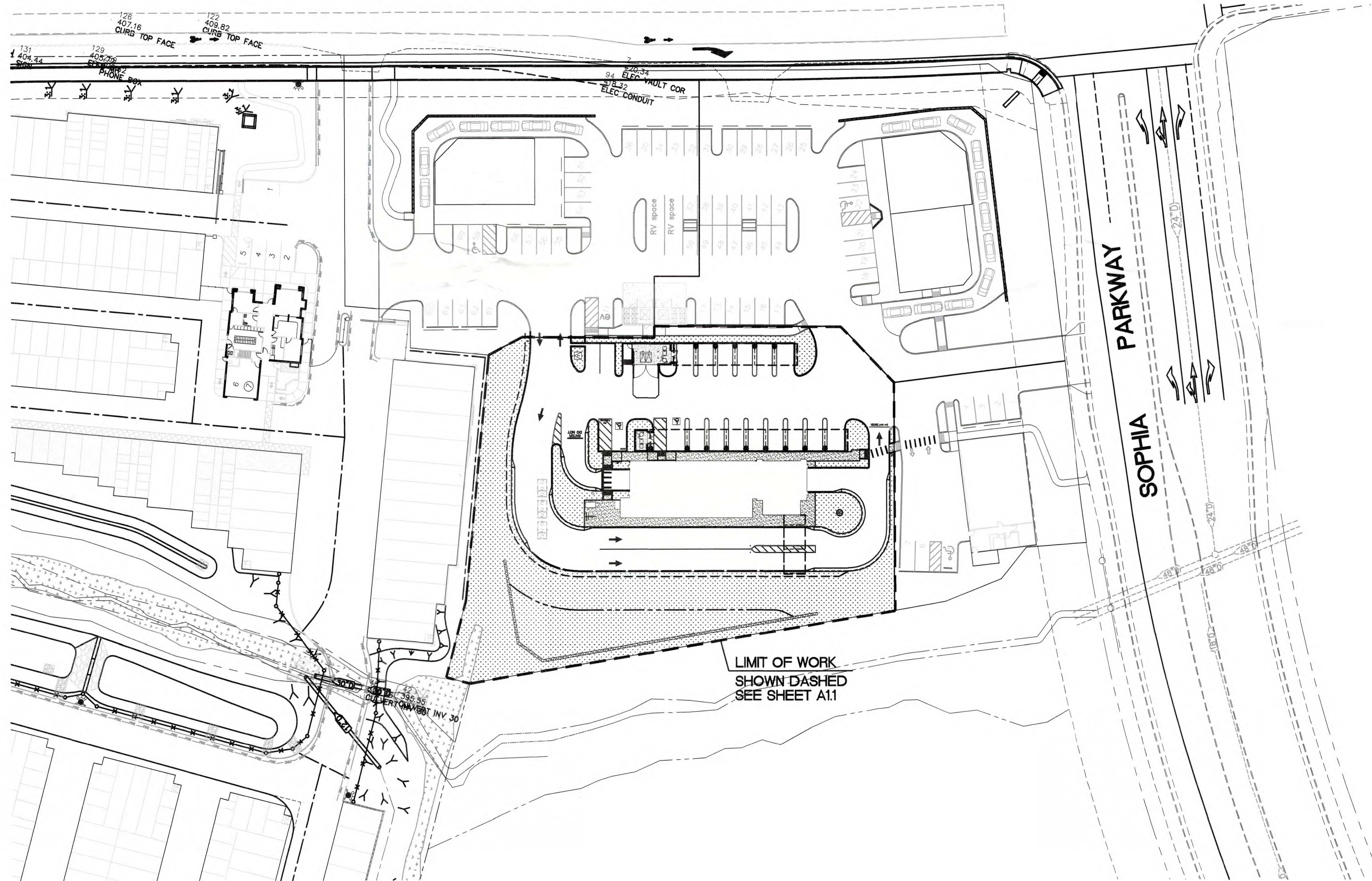
PROJECT SUMMARY

THE PROJECT CONSISTS OF BUT IS NOT LIMITED TO:

CONSTRUCTION OF: NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES, AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

PROJECT INFORMATION

EXISTING ZONING:	PLANNED COMMERCIAL
PROPOSED ZONING:	PLANNED COMMERCIAL
APN:	124-301-045
PROPOSED AREA:	48,259 S.F. +/-
PROPOSED ACRE:	1.11 +/- ACRE
NEW LANDSCAPE AREA:	15,895 S.F.
NEW BIO-RETENTION AREA:	3,188 S.F.
QUICK QUACK PARKING	
VACUUM STALL PARKING:	14 STALLS
PARKING STALLS:	2 STALLS
ADA PARKING:	2 STALLS
CARWASH BUILDING AREA:	3,596 S.F.
TOTAL PROPOSED CANOPY AREA:	2,552 S.F.
TOTAL PROPOSED ENCLOSURE AREA:	423 S.F.
TOTAL COMBINED AREA:	6,571 S.F.
FAR OF AREA OF WORK:	.07 FAR
PROPOSED CARWASH AREA:	3,596 S.F.
STORIES:	1 STORY
HEIGHT:	29'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED PAY STATION CANOPY AREA:	465 S.F.
STORIES:	1 STORY
HEIGHT:	9'-9"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED NORTH VACUUM CANOPY AREA:	985 S.F.
STORIES:	1 STORY
HEIGHT:	9'-9"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED SOUTH VACUUM CANOPY AREA:	1,567 S.F.
STORIES:	1 STORY
HEIGHT:	9'-9"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED TRASH ENCLOSURE AREA:	316 S.F.
STORIES:	1 STORY
HEIGHT:	11'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	N/A
SPRINKLERS:	NO
PROPOSED VACUUM ENCLOSURE AREA:	107 S.F. (EACH)
STORIES:	1 STORY
HEIGHT:	11'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	N/A
SPRINKLERS:	NO



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CRM Architects & Planners, Inc.
Carrissini Rohrer McIlLEN Architects and Planners, Inc.
5800 Stanford Ranch Road #T20
Rocklin CA 95765 - phone: (916) 451-1500

REVISIONS

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

QUICK QUACK CAR WASH STORE #6-073
GREEN VALLEY ROAD AND SOPHIA PARKWAY
EL DORADO HILLS, CA

COVER SHEET
AERIAL SITE PLAN

DATE: APRIL 2021
CRM PROJECT #: 2038

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PLANNING DOCUMENTS

FILE COPY

CUP21-0010,PD21-0004

A0.0

EXCEPTIONS TABLE

AS TO PARCEL ONE

- TAXES, SPECIAL AND GENERAL, ASSESSMENT DISTRICTS AND SERVICE AREAS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE. (NOT A SURVEY MATTER)
- TAXES, SPECIAL AND GENERAL, ASSESSMENT DISTRICTS AND SERVICE AREAS FOR THE FISCAL YEAR 2020-2021:

1ST INSTALLMENT:	\$ 5,203.66	PAID
2ND INSTALLMENT:	\$ 5,203.66	DUE
PARCEL NUMBER:	124-301-045-000	
CODE AREA:	100013	
LAND VALUE:	\$ 974,186.00	
IMP. VALUE:	\$ 0.00	
TOTAL VALUE:	\$ 974,186.00	
EXEMPTION AMOUNT:	\$ 0.00	

NOTE: FIRST INSTALLMENT IS DUE NOVEMBER 1 AND DELINQUENT DECEMBER 10. SECOND INSTALLMENT IS DUE FEBRUARY 1 AND DELINQUENT APRIL 10. (NOT A SURVEY MATTER)
- SUPPLEMENTAL TAXES ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5, (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA, FOR THE FISCAL YEAR 2019-2020:

1ST INSTALLMENT:	\$ 727.64	PAID
DUE DATE:	MARCH 17, 2020	
2ND INSTALLMENT:	\$ 727.64	DUE
DUE DATE:	APRIL 30, 2021	
PARCEL NUMBER:	124-301-045-000	
CODE AREA:	100013	
ASSESSMENT NO.:	990-028-518-000	
EVENT DATE:	MARCH 17, 2020	

(NOT A SURVEY MATTER)
- SUPPLEMENTAL TAXES ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5, (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA, FOR THE FISCAL YEAR 2020-2021:

1ST INSTALLMENT:	\$ 2,799.16	PAID
DUE DATE:	APRIL 30, 2021	
2ND INSTALLMENT:	\$ 2,799.16	DUE
DUE DATE:	APRIL 30, 2021	
PARCEL NUMBER:	124-301-045-000	
CODE AREA:	100013	
ASSESSMENT NO.:	991-028-518-000	
EVENT DATE:	MARCH 17, 2020	

(NOT A SURVEY MATTER)
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5, (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE, OF THE STATE OF CALIFORNIA. (NOT A SURVEY MATTER)
- ANY TAXES OR ASSESSMENTS LEVIED BY: EL DORADO IRRIGATION DISTRICT (NOT A SURVEY MATTER)
- AN EASEMENT OVER SAID LAND FOR SLOPE CONSTRUCTION, MAINTENANCE, AND DRAINAGE AND INCIDENTAL PURPOSES, AS GRANTED TO THE COUNTY OF EL DORADO, IN DEED RECORDED NOVEMBER 29, 2001, AS INSTRUMENT NO. 2001-0077525, OFFICIAL RECORDS. AFFECTS THE NORTHERLY PORTION. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. (EASEMENT PLOTTED HEREON)
- AN "IRREVOCABLE OFFER TO DEDICATE" AFFECTING A PORTION OF SAID LAND FOR SLOPE EASEMENT AND INCIDENTAL PURPOSES, IN FAVOR OF COUNTY OF EL DORADO, IN A DOCUMENT RECORDED JUNE 28, 2002, AS INSTRUMENT NO. 2002-46958, OFFICIAL RECORDS. AFFECTS: AS SHOWN IN SAID DOCUMENT (EASEMENT PLOTTED HEREON)
- DEED OF TRUST TO SECURE AN INDEBTEDNESS OF \$900,000.00, DATED MARCH 3, 2020, RECORDED MARCH 17, 2020, (INSTRUMENT) 2020-12410, OFFICIAL RECORDS.

TRUSTOR:	SOPHIA PARKWAY RETAIL PARTNERS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
TRUSTEE:	FIRST AMERICAN TITLE COMPANY
BENEFICIARY:	FLUMAS BANK
LOAN NO.:	NA

(NOT A SURVEY MATTER)

AS TO PARCEL TWO

- TAXES, SPECIAL AND GENERAL, ASSESSMENT DISTRICTS AND SERVICE AREAS FOR THE FISCAL YEAR 2021-2022. A LIEN NOT YET DUE OR PAYABLE. (NOT A SURVEY MATTER)
- TAXES, SPECIAL AND GENERAL, ASSESSMENT DISTRICTS AND SERVICE AREAS FOR THE FISCAL YEAR 2020-2021:

1ST INSTALLMENT:	\$ 11,029.59	PAID
2ND INSTALLMENT:	\$ 11,029.59	DUE
PARCEL NUMBER:	124-301-003-000	
CODE AREA:	100013	
LAND VALUE:	\$ 2,040,000.00	
IMP. VALUE:	\$ 25,500.00	
TOTAL VALUE:	\$ 2,065,500.00	
EXEMPTION AMOUNT:		

NOTE: FIRST INSTALLMENT IS DUE NOVEMBER 1 AND DELINQUENT DECEMBER 10. SECOND INSTALLMENT IS DUE FEBRUARY 1 AND DELINQUENT APRIL 10. (NOT A SURVEY MATTER)
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5, (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE, OF THE STATE OF CALIFORNIA. (NOT A SURVEY MATTER)
- ANY TAXES OR ASSESSMENTS LEVIED BY: EL DORADO IRRIGATION DISTRICT (NOT A SURVEY MATTER)
- AN EASEMENT OVER SAID LAND FOR ROAD AND UTILITIES AND INCIDENTAL PURPOSES, AS RESERVED BY RICHARD E. HEYL ET AL, IN DEED RECORDED MARCH 03, 1972, BOOK 1106 AT PAGE 571, OFFICIAL RECORDS. AFFECTS THE SOUTH 50 FEET. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. (EASEMENT PLOTTED HEREON)
- AN EASEMENT OVER SAID LAND FOR ROAD AND UTILITIES AND INCIDENTAL PURPOSES, AS RESERVED BY RICHARD HEYL ET UX, IN DEED RECORDED NOVEMBER 14, 1975, BOOK 1350 AT PAGE 701, OFFICIAL RECORDS. AFFECTS THE EAST 15 FEET. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. (EASEMENT PLOTTED HEREON)
- AN EASEMENT OVER SAID LAND FOR SLOPE CONSTRUCTION, MAINTENANCE AND DRAINAGE AND INCIDENTAL PURPOSES, AS GRANTED TO COUNTY OF EL DORADO, IN DEED RECORDED OCTOBER 15, 2001, AS INSTRUMENT NO. 2001-65360, OFFICIAL RECORDS. AFFECTS THE NORTHERLY PORTION. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. (EASEMENT PLOTTED HEREON)
- DEED OF TRUST TO SECURE AN INDEBTEDNESS OF \$1,500,000.00, DATED MAY 14, 2019, RECORDED MAY 31, 2019, (INSTRUMENT) 2019-20919, OFFICIAL RECORDS.

TRUSTOR:	EDH GREEN VALLEY HOLDINGS LLC
TRUSTEE:	STEWART TITLE OF SACRAMENTO A CALIFORNIA CORPORATION
BENEFICIARY:	BARBARA H. OROSCO AS SURVIVING TRUSTEE OF THE 2006 SALVADOR O. OROSCO AND BARBARA H. OROSCO FAMILY TRUST, DATED MAY 25, 2006
LOAN NO.:	NA

(NOT A SURVEY MATTER)
- RIGHTS OF TENANTS IN POSSESSION, INCLUDING ANY UNRECORDED LEASES AND/OR SUBLEASES AFFECTING THE HEREIN DESCRIBED PROPERTY. (NOT A SURVEY MATTER)

PARKING SUMMARY

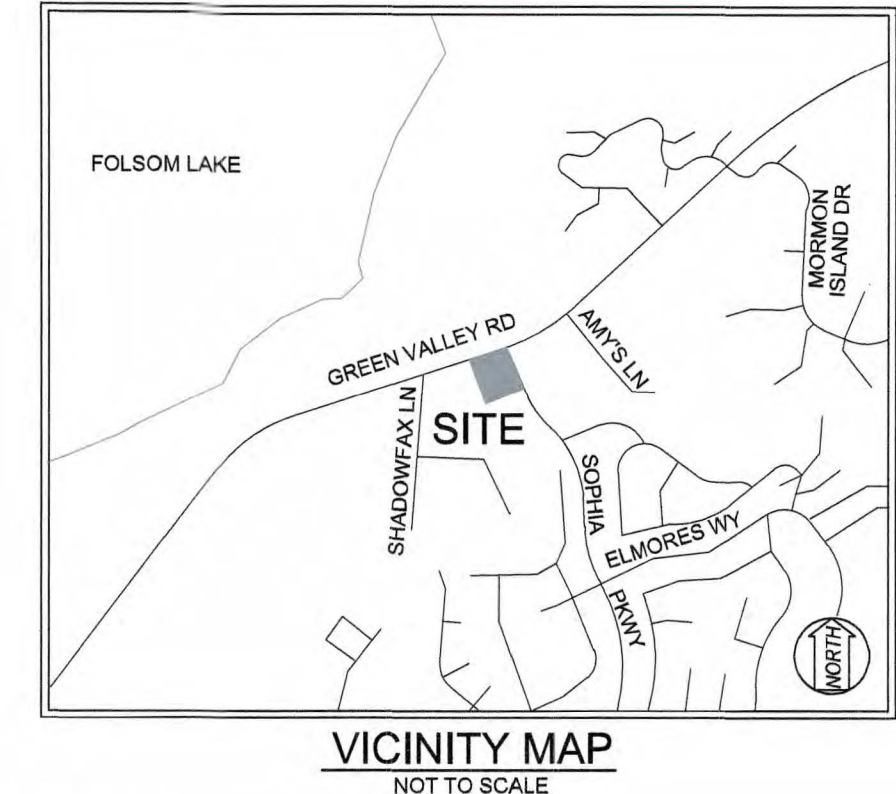
DESCRIPTION	STALLS
STANDARD PARKING	0
COMPACT PARKING	0
ACCESSIBLE PARKING	0
TOTAL	0

REFERENCES

- PARCEL MAP (50 PM 82)
- RECORD OF SURVEY (4 RS 129)
- RECORD OF SURVEY (27 RS 39)
- LOT LINE ADJUSTMENT (LLA20-0023)

TABLE A REQUIREMENTS NOTES

- NO address observed while conducting the fieldwork.
- The subject parcel DOES NOT lie within a Special Flood Hazard. Refer to Note # 07 for Flood zone classification.
- The Gross land area is 1.113 ± ACRES (48,489 ± Square Feet)
- A zoning report WAS NOT provided to the surveyor. Information within the report is noted hereon. See Zoning Note on this sheet for details. (Refer to Note # 05)
- Substantial features observed in the process of conducting the fieldwork are plotted hereon.
- The Location of utilities existing on or serving the surveyed property are plotted hereon. The locations of these underground utility lines have been compiled from available plans and no warranty is implied as to the exact location of these lines. Said subsurface objects may include, but are not limited to, concrete footings, slabs, shoring, structural piles, utility vaults, piping, underground tanks, and any other subsurface structures not revealed by a surface inspection.
- Names of adjoining owners according to current tax records are noted hereon.
- The distance to the nearest intersecting street is shown hereon.
- There was NO evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- There are NO known proposed changes in street right of way lines, and NO additional information was made available to the surveyor by the controlling jurisdiction. There was NO Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- As of the date of this survey there was NO observable evidence of any wetland areas within the boundaries of the subject property and the surveyor was not provided with any information or documentation that disclosed that any wetlands may exist. It shall be noted that the undersigned Land Surveyor is not qualified to make an independent judgment determination as to what does or does not constitute a wetlands area. Further review of the California Department of Fish and Game website discloses that it does not show any wetlands areas within the subject property.
- Any plottable offsite (i.e., apartment) easements or servitudes disclosed in documents provided to or obtained by the surveyor as a part of the survey pursuant to Sections 5 and 6 (and applicable selected Table A items) ARE shown hereon. (NONE FOUND)
- Professional Liability Insurance policy obtained by the surveyor in the minimum amount of \$2,000,000 to be in effect throughout the contract term. Certificate of insurance to be furnished upon request.



NOTES

- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This survey was prepared from information furnished in a Preliminary Title Report, prepared by Ficer Title Company dated January 12, 2021, Order No. P-465131. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. A reasonable effort has been made to locate and delineate all known underground utilities. However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: 124-301-045-000 (PARCEL ONE)
124-301-003-000 (PARCEL TWO)
- Zoning Note:
This survey makes no evaluation as to compliance with zoning and building codes and/or ordinances other than current municipal building setback line locations.
The subject property is currently zoned "CC" (Commercial, Community).
The current building setbacks for this zoning designation are on file with the El Dorado County Planning Department.
Information was obtained from the El Dorado County Planning Department on February 18, 2021.
- Basis of Bearings:
The bearing of North 22°23'59" West taken on the southerly right of way line of Sophia Parkway as shown on that certain Parcel Map filed for record on October 15, 2009 in Book 50 of Parcel Maps at Page 62, El Dorado County Records was taken as the Basis of all Bearings shown hereon.
- Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060049 0725 E, dated September 26, 2008, as being located in Flood Zone "X".
Areas of determined to be outside the 0.2% annual chance flood.
Information was obtained from the FEMA website (www.fema.gov) on February 18, 2021.

LEGAL DESCRIPTION

The land described herein is situated in the State of California, County of El Dorado, unincorporated area, described as follows:

Parcel One
 PARCEL 1 AS SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP", BEING A PORTION OF THE NW 1/4 OF SECTION 28 AND THE SW 1/4 OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 8 EAST, MOUNT DIABLO MERIDIAN, WHICH MAP WAS FILED FOR RECORD ON OCTOBER 15, 2009 IN BOOK 50 OF PARCEL MAPS, PAGE 62, EL DORADO COUNTY RECORDS.

Parcel Two
 A parcel of land in the Northwest quarter of Section 28 and in the Southwest quarter of Section 21, Township 10 North, Range 8 East, H.L.D.M., in the Counties of Sacramento and El Dorado, State of California, being a portion of the 87.55 acre parcel of land described in the deed from Elvis Briggs to the United States of America, dated December 22, 1948, and recorded in the Office of the County Recorder of said El Dorado County on February 14, 1949, in Book 293 of Official Records, at Page 487, and described as follows:
 Beginning at the Southeast corner of the parcel herein described from which point the North quarter corner of Section 23 bears South 89° 28' West, 550.00 feet and North 89° 22' East, 1251.90 feet; thence from the point of beginning South 89° 28' West, 525.00 feet, more or less, to the East line of that certain 50 foot strip of land described as an exception from Grant from Charles F. Anderson, et ux., to Richard E. Heyl, et ux., et al., recorded February 19, 1960, in Book 498, Page 847 of Official Records; thence along the East line of said 50 foot strip northerly to a point on the South line of the county road known as Green Valley Road; thence along the South line of said road, North 73° 52' 56" East to a point from which the point of beginning bears South 01° 14' 30" East; thence leaving said South line South 01° 04' 30" East to the point of beginning.

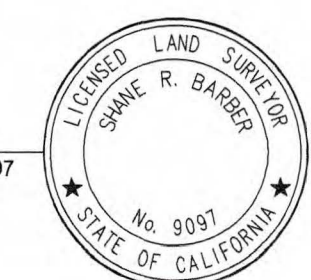
Excepting therefrom all that portion thereof conveyed to the County of El Dorado in that certain Grant Deed, recorded October 15, 2001, Instrument No. 2001-0065360-00, of Official Records.

SURVEYOR'S CERTIFICATE

TO: Quikc Quack Development, LLC, a Delaware limited liability company, and their respective successor and/or assigns
 AND: Fidelity National Title Insurance Company, as Title Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6, 8, 9, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on February 17, 2021.

PRO-FORMA
 18 FEB. 2021
 DATE



LEGEND

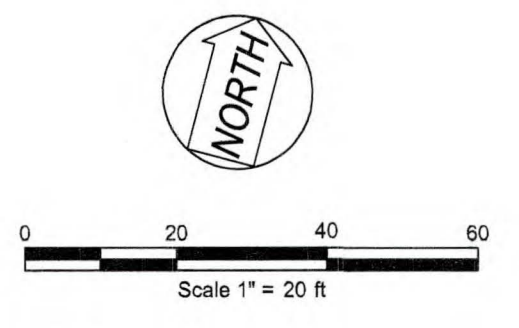
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- EASEMENT
- FOUND IRON PIPE OR AS NOTED
- LIGHT
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- TRANSFORMER
- FIRE HYDRANT
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- CLEAN OUT
- GAS METER
- VALVE
- CATCH BASIN / DROP INLET
- WATER METER
- BACK FLOW PREVENTER
- UTILITY BOX (SIZE VARIES)
- SIGN
- TITLE REPORT EXCEPTION NUMBER
- RECORD INFORMATION W/ REFERENCE
- SPOT ELEVATION
- CONTOUR
- INDEX CONTOUR
- CURB
- CURB & GUTTER
- CONCRETE
- FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
- SANITARY SEWER
- STORM DRAIN
- WATER
- JOINT TRENCH

am ASSOCIATES, INC. CALIFORNIA
 801 YONACIO VALLEY ROAD
 WALKNUT CREEK, CA 94596
 925-943-2777 FAX 925-943-2778
 PROJECT: SOPHIA PARKWAY AND GREEN VALLEY ROAD
 EL DORADO COUNTY
 SHEET 1 OF 2
 PROJECT 21-2540




LINE TABLE

LINE	BEARING	DISTANCE
L1	N 15°30'51" W	3.80'
L2	N 01°03'27" W	2.58'
L3	N 15°39'57" W	22.28'
L4	S 89°39'31" W	14.83'
L5	N 88°22'47" W	17.40'
L6	N 72°14'39" W	11.13'



*LOT LINES SHOWN HEREON ARE PROPOSED

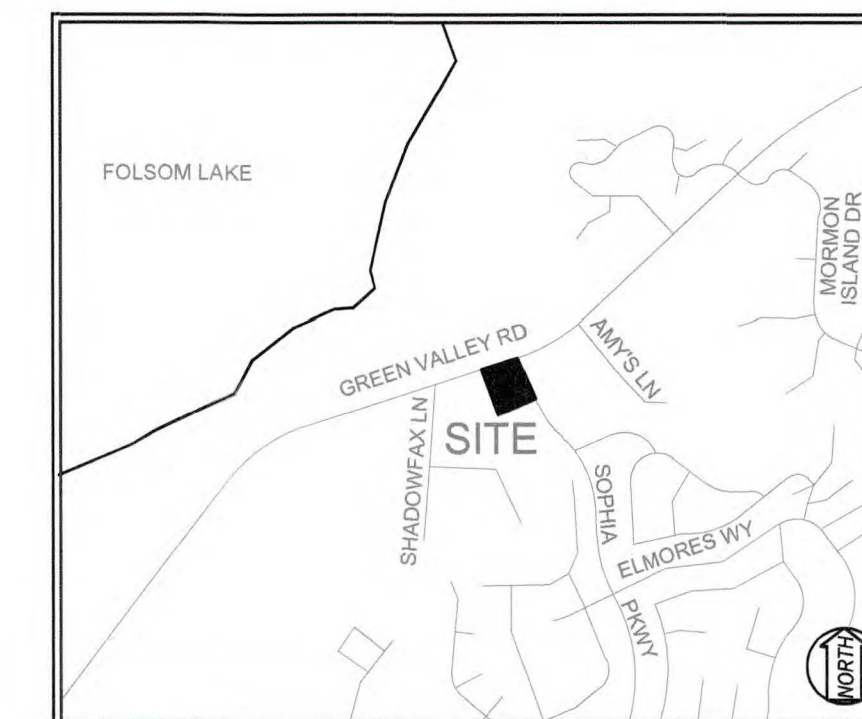
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	2			
	3			
 801 YONACO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778 CALIFORNIA ASSOCIATES, INC. PLANNING ENGINEERING SURVEYING				
ALTA / NSPS LAND TITLE SURVEY FOR: QUICK QUACK CAR WASH SOPHIA PARKWAY AND GREEN VALLEY ROAD EL DORADO HILLS EL DORADO COUNTY				
SHEET	2	OF	2	PROJECT
				21-2540

GENERAL ABBREVIATIONS / LEGEND

BFP	BACKFLOW PREVENTER	○ MW	MONITORING WELL
CB	CATCH BASIN	○	POWER POLE
CL	CENTERLINE	△	IRON PIPE
DCV	DETECTOR CHECK VALVE	△	RAILROAD SPIKE
DE	DIRT ELEVATION	○	STANDARD CITY MONUMENT
DWY	DRIVEWAY	○	SURVEY MONUMENT
E	ELECTRICAL LINE	○	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	○	STREET SIGN
EP	EDGE OF PAVEMENT	○	STREET LIGHT
EX	EXISTING	○	WATER VALVE
FDC	FIRE DEPARTMENT CONNECTION	○	TREE WITH SIZE
FF	FINISHED FLOOR	○	TREE REMOVAL
FL	FLOWLINE	○	TRANSFORMER
FS	FINISHED SURFACE/FIRE SERVICES	○	BARBED WIRE FENCE
G	GAS PIPE	○	CHAIN-LINKED FENCE
GB	GRADE BREAK	○	WOOD FENCE
GM	GAS METER	○	SAWCUT LINE
GP	GUARD POST	○	WALL
GR	GRATE	○	
HCR	HANDICAP RAMP	○	
INV	INVERT	○	
JP	JOINT POLE	○	
JT	JOINT TRENCH	○	
LF	LINEAR FEET	○	
MW	MONITORING WELL	○	
OHE	OVERHEAD ELECTRIC	○	
OHT	OVERHEAD TELEPHONE	○	
PAE	PUBLIC ACCESS EASEMENT	○	
PB	PULL BOX	○	
PCC	PORTLAND CEMENT CONCRETE	○	
PG&E	PACIFIC GAS & ELECTRIC	○	
PV	POST INDICATOR VALVE	○	
PUE	PUBLIC UTILITY EASEMENT	○	
PVC	POLYVINYL CHLORIDE PIPE	○	
R	RIDGE LINE	○	
RCP	REINFORCED CONCRETE PIPE	○	
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW	○	
SD	STORM DRAIN PIPE	○	
SDCB	STORM DRAIN CATCH BASIN	○	
SDCO	STORM DRAIN CLEANOUT	○	
SDMH	STORM DRAIN MANHOLE	○	
SS	SANITARY SEWER PIPE	○	
SSCO	SANITARY SEWER CLEANOUT	○	
SSMH	SANITARY SEWER MANHOLE	○	
SW	SIDEWALK	○	
T	TELEPHONE LINE	○	
TC	TOP OF CURB	○	
TH	TOP OF CONCRETE HEADER	○	
TORW	TOP OF RETAINING WALL	○	
TP	TELEPHONE POLE	○	
TS	TRAFFIC SIGNAL	○	
TSB	TRAFFIC SIGNAL BOX	○	
VG	VALLEY GUTTER	○	
W	WATER PIPE	○	
WM	WATER METER	○	

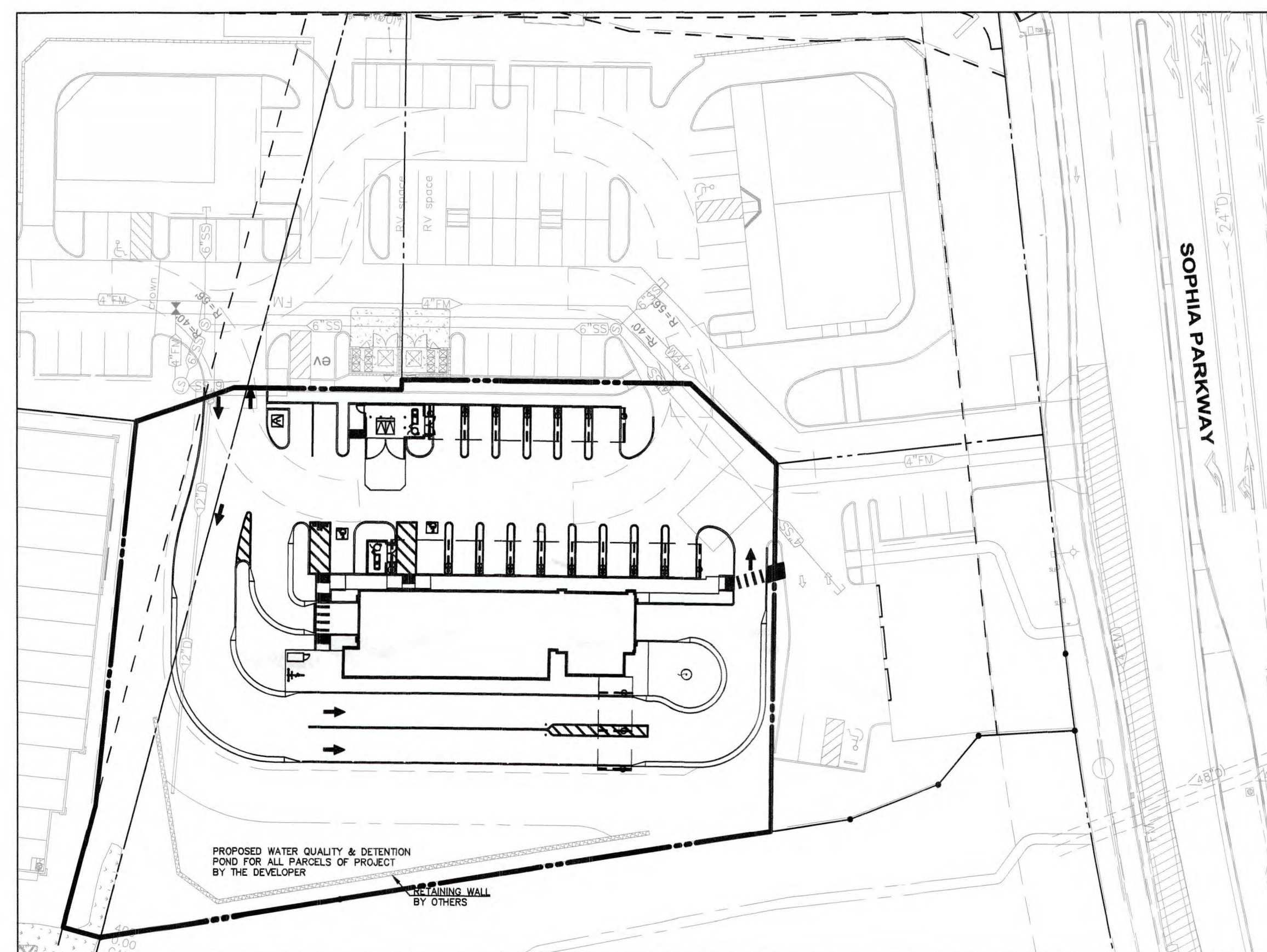
QUICK QUACK CAR WASH #6-073

SOFIA PARKWAY AND GREEN VALLEY ROAD
 EL DORADO HILLS, CA 95762
 APN# 124-301-045-000 (PARCEL ONE)
 124-301-003-000(PARCEL TWO)



VICINITY MAP
NOT TO SCALE

SITE KEY MAP 1"=40'



SHEET INDEX

CIVIL

- C-1.1 COVER SHEET
- C-2.1 SITE PLAN
- C-3.1 GRADING PLAN
- C-4.1 UTILITY PLAN

DATE	SCALE	DESIGNED	DRAWN	CHECKED	PROJ. MGR.	FILE PATH
08-27-21	arms	arms	arms	arms	RB	

ams associates, inc. PLANNING ENGINEERING SURVEYING

801 YGNACIO VALLEY ROAD
 SUITE 220
 WALNUT CREEK, CA 94596
 925-943-2777 FAX 925-943-2778

PROJECT CONTACTS

DEVELOPER
 QUICK QUACK CARWASH
 1380 LEAD HILL BLVD #260
 ROSEVILLE, CA 95661
 PHONE: (916) 846-2100
 EFRAIN CORONA

CIVIL ENGINEER
 ams associates, inc.
 801 YGNACIO VALLEY ROAD, SUITE 220
 WALNUT CREEK, CA 94596
 PHONE: (925) 943-2777
 FAX: (925) 943-2778
 EMAIL: AL@AMSASSOCIATES.US
 BOB BURDUE / AL SHAGHAGHI

ARCHITECT
 CRM ARCHITECTS & PLANNERS, INC.
 5921 FOLSOM BLVD.
 SACRAMENTO, CA 95819
 PHONE: (916)451-1500
 FAX: (916)451-1600
 EMAIL: markm@crmarchitects.com
 MARK MCIVAIN

EL DORADO COUNTY
 2850 FAIRLANE CT #0
 PLACERVILLE, CA 95667
 PHONE: (530) 621-5377

SEWER
 EL DORADO IRRIGATION DISTRICT
 2890 MOSQUITO ROAD,
 PLACERVILLE, CA 95667
 PHONE: (530) 642-4028

WATER /DRAINAGE
 EL DORADO IRRIGATION DISTRICT
 2890 MOSQUITO ROAD,
 PLACERVILLE, CA 95667
 PHONE: (530) 642-4028

EL DORADO HILLS FIRE DEPARTMENT
 1050 WILSON BLVD,
 EL DORADO HILLS, CA 95762
 PHONE: (916) 933-6623

PROPERTY OWNER
 SOPHIA PARKWAY RETAIL PARTNERS, LLC
 4120 DOUGLAS BLVD #306-473
 GRANITE BAY, CA
 CONTACT JIN MONN
 PHONE: 530-682-3531

APPROVALS

PROJECT DATA

UTILITY NOTE
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

FLOODZONE NOTE:
 THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 060040 0725 E DATED SEPTEMBER 26, 2008, AS BEING LOCATED IN FLOOD ZONE "X"; AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON FEBRUARY 18, 2021.

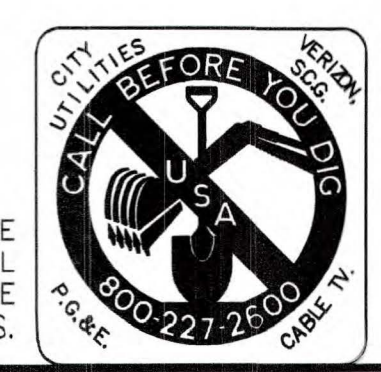
BASIS OF BEARINGS:
 THE BEARING OF SOUTH 22°23'59" WEST TAKEN ON THE SOUTHERLY RIGHT OF WAY LINE OF SOPHIA PARKWAY AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON OCTOBER 15, 2009 IN BOOK 50 OF PARCEL MAPS AT PAGE 82, EL DORADO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

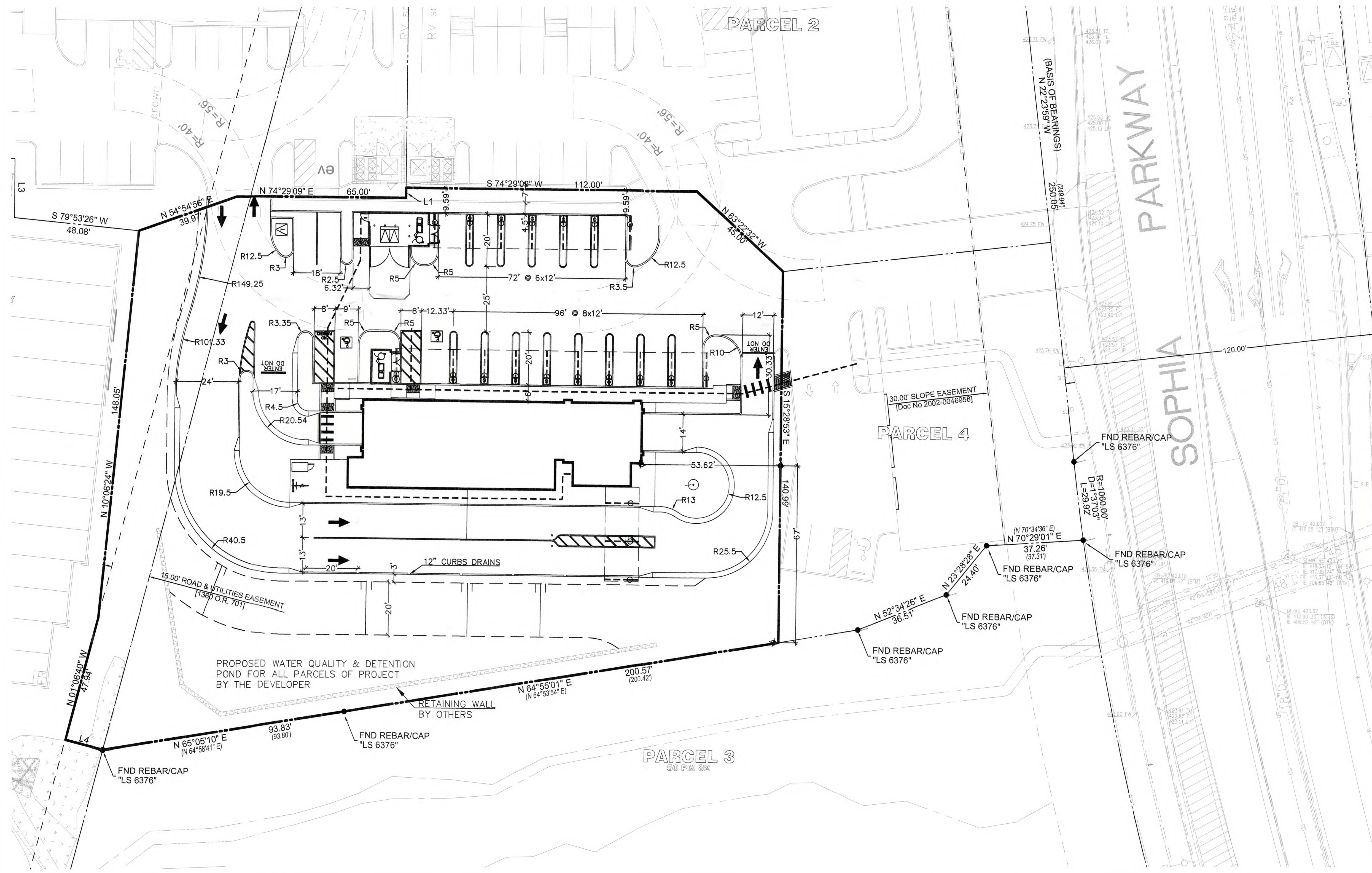
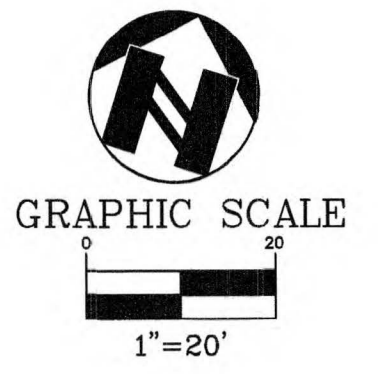
BENCHMARK:
 EL DORADO COUNTY BENCHMARK "U 127":
 FOUND BRASS DISK MONUMENT LOCATED ON TOP OF A LARGE ROCK LOCATED SOUTHEASTERLY OF THE INTERSECTION OF WHITE ROCK ROAD AND WINDFIELD WAY
 ELEVATION: 573.7 FEET (VERTCON) (DATUM) NAVD 1988

COVER SHEET
QUICK QUACK CAR WASH #6-073
 SOFIA PARKWAY AND GREEN VALLEY ROAD
 EL DORADO HILLS EL DORADO COUNTY CALIFORNIA

SHEET C-1.1
PROJECT 21-2540

NOT APPROVED FOR PRIVATE UNDERGROUND FIRE SERVICE INSTALLATION. A SEPARATE PLAN SUBMITTAL IS REQUIRED FROM THE INSTALLING CONTRACTOR. SEE THE SACRAMENTO METROPOLITAN FIRE DISTRICT NOTES.

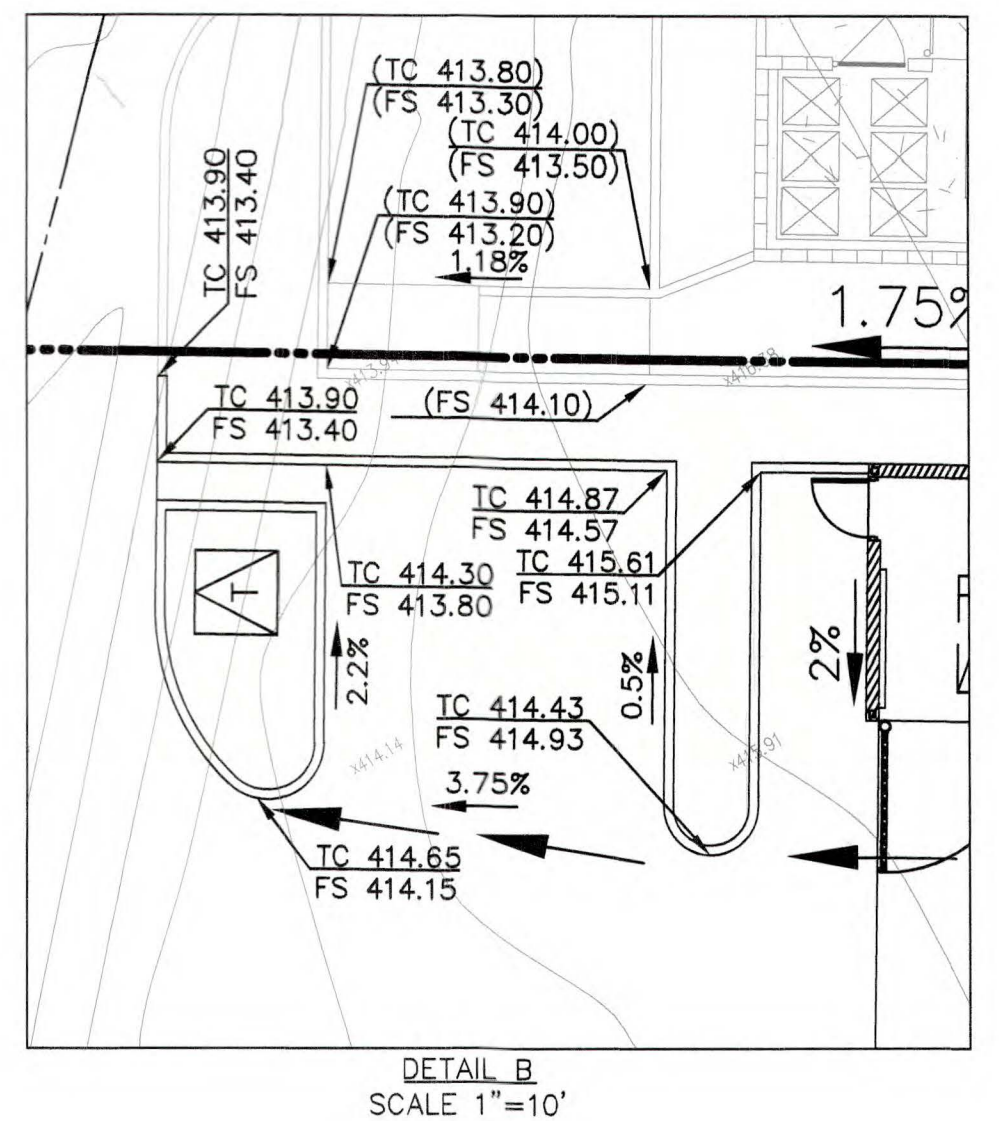
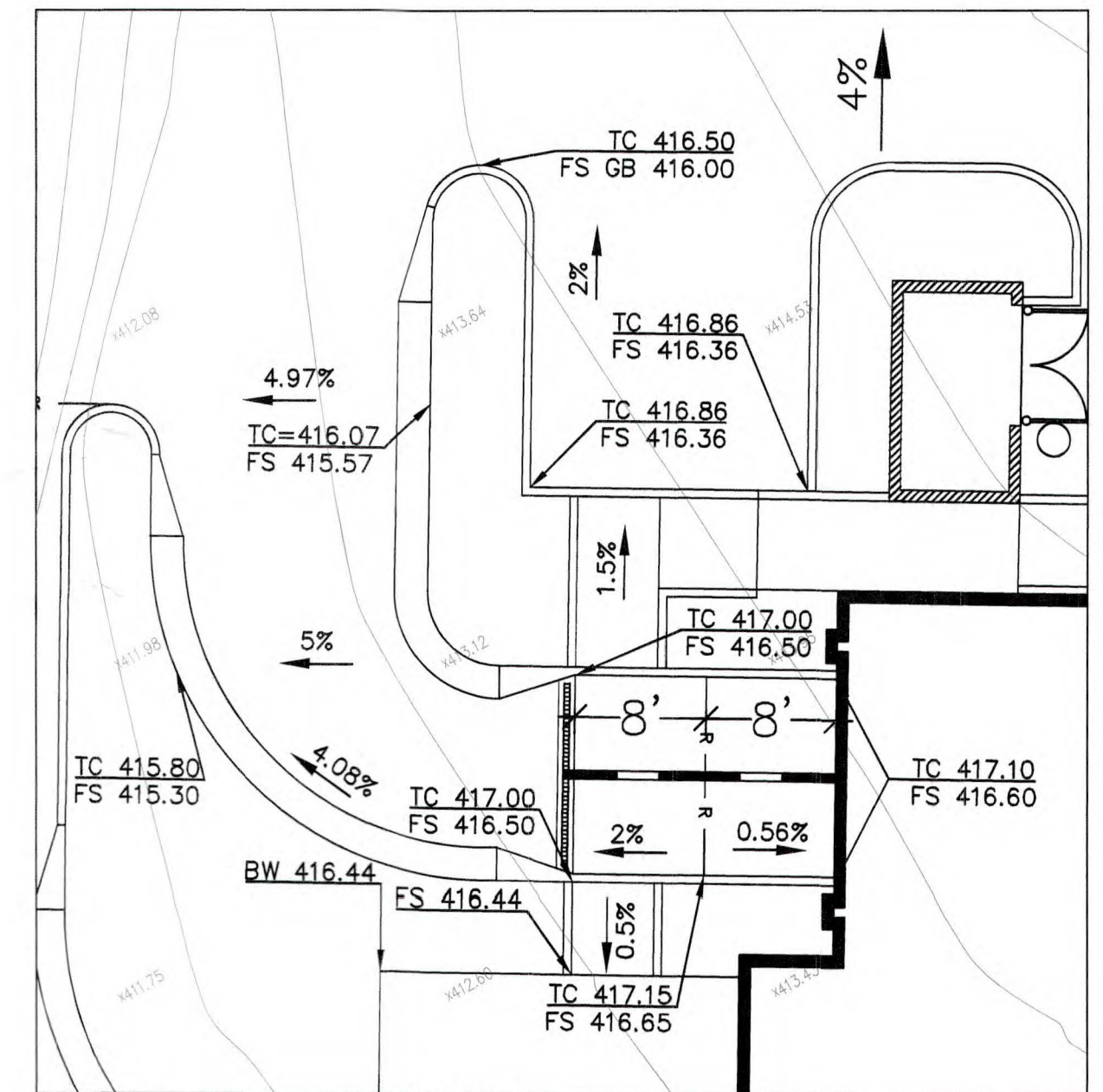
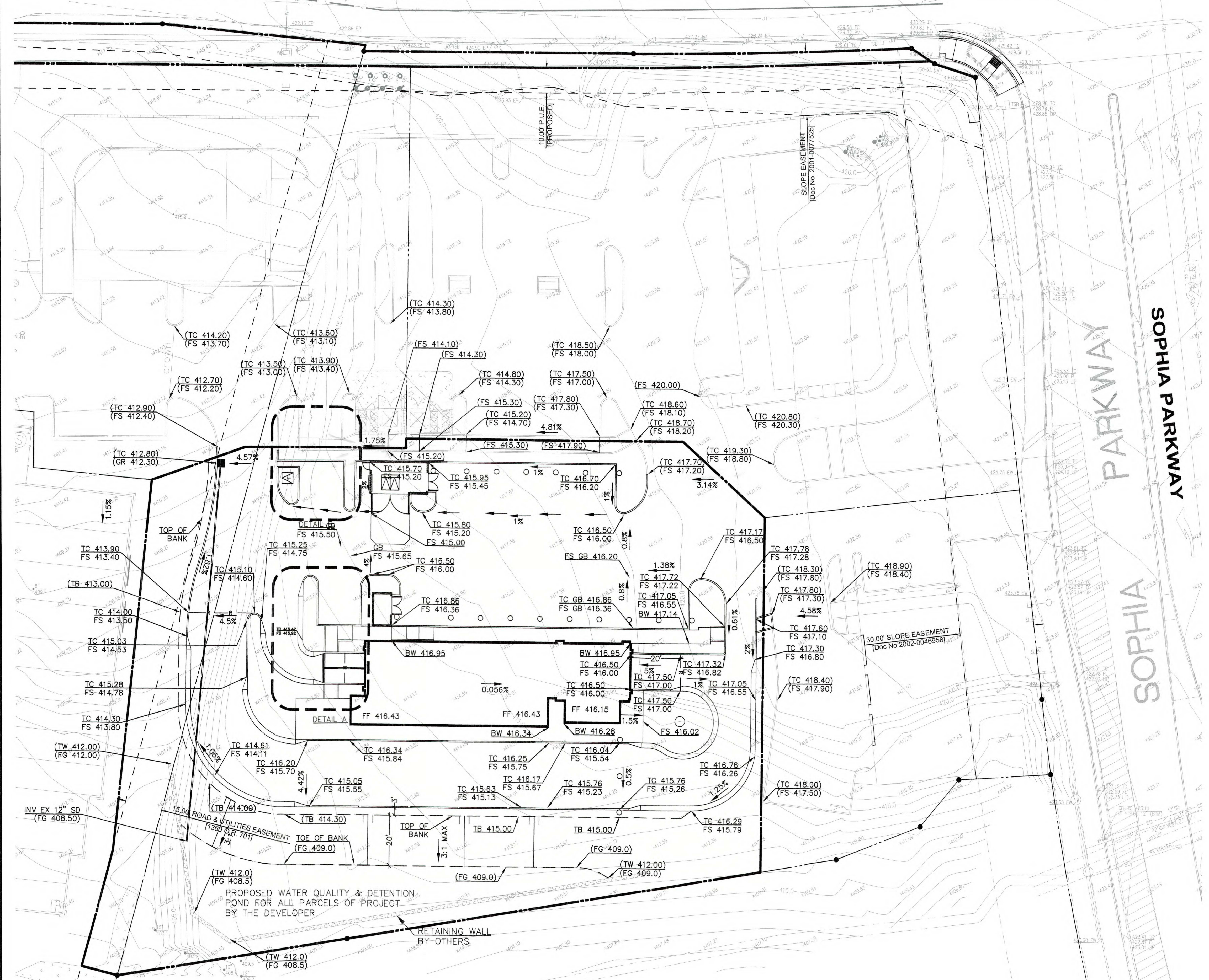
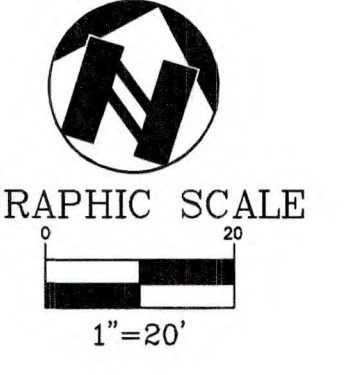




DATE	SCALE	DESIGNED	DRAWN	CHECKED	BRDL MGR	REV #	BY	DATE	DESCRIPTION
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						2			
						3			
						4			
						5			

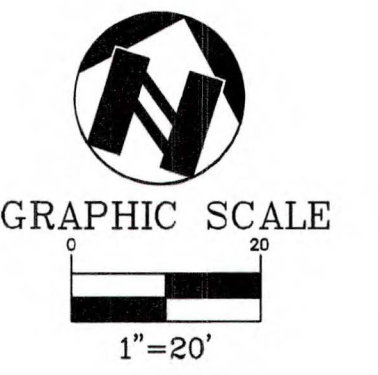
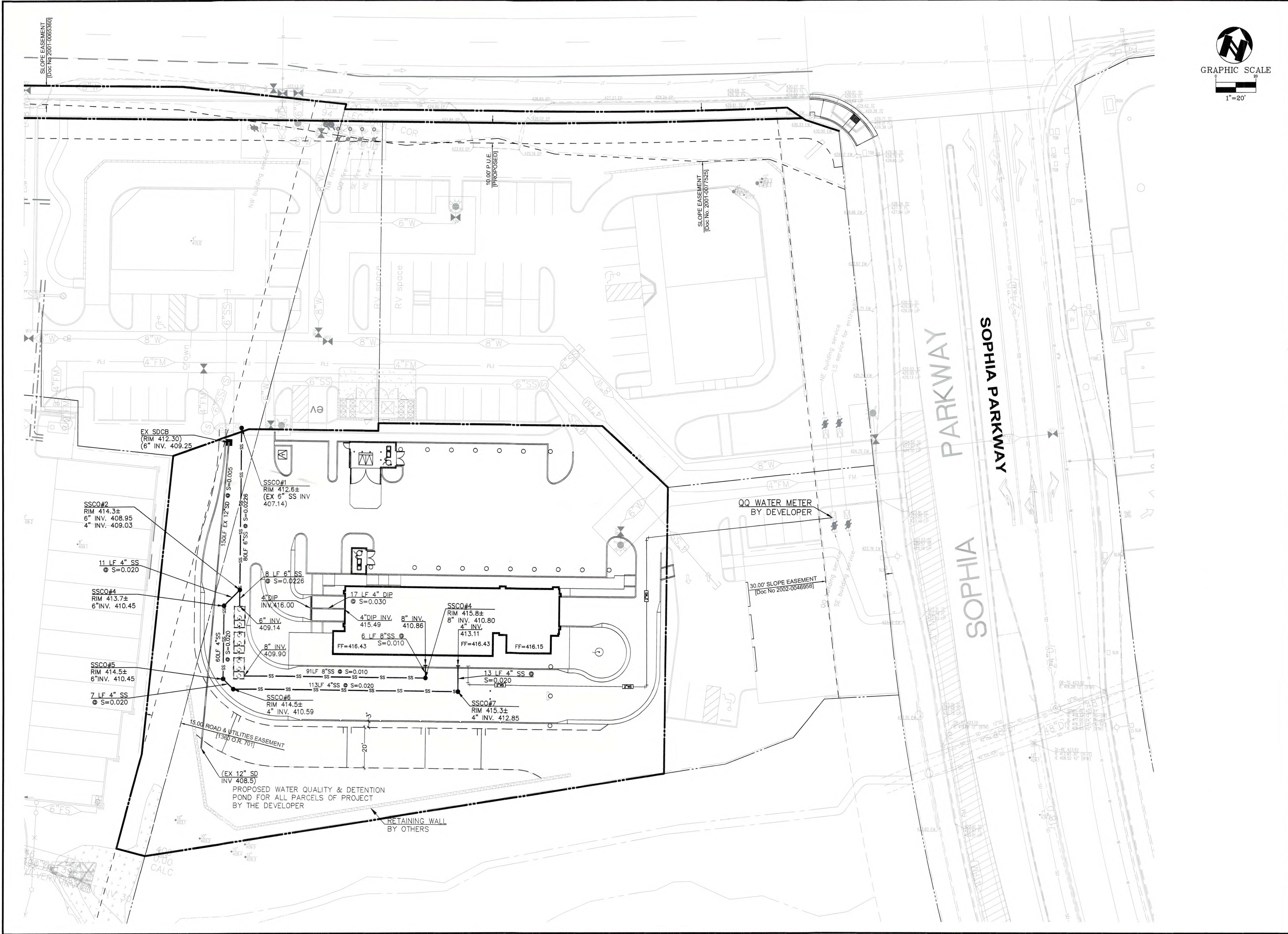
	ams associates, inc. PLANNING ENGINEERING SURVEYING
	801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778
HORIZONTAL CONTROL PLAN QUICK QUACK CAR WASH #6-073	SOPHIA PARKWAY AND GREEN VALLEY ROAD EL DORADO HILL EL DORADO COUNTY CALIFORNIA
SHEET C-2.1 of PROJECT 20-2540	FILE PATH:

GREEN VALLEY ROAD
(27 RS 39)

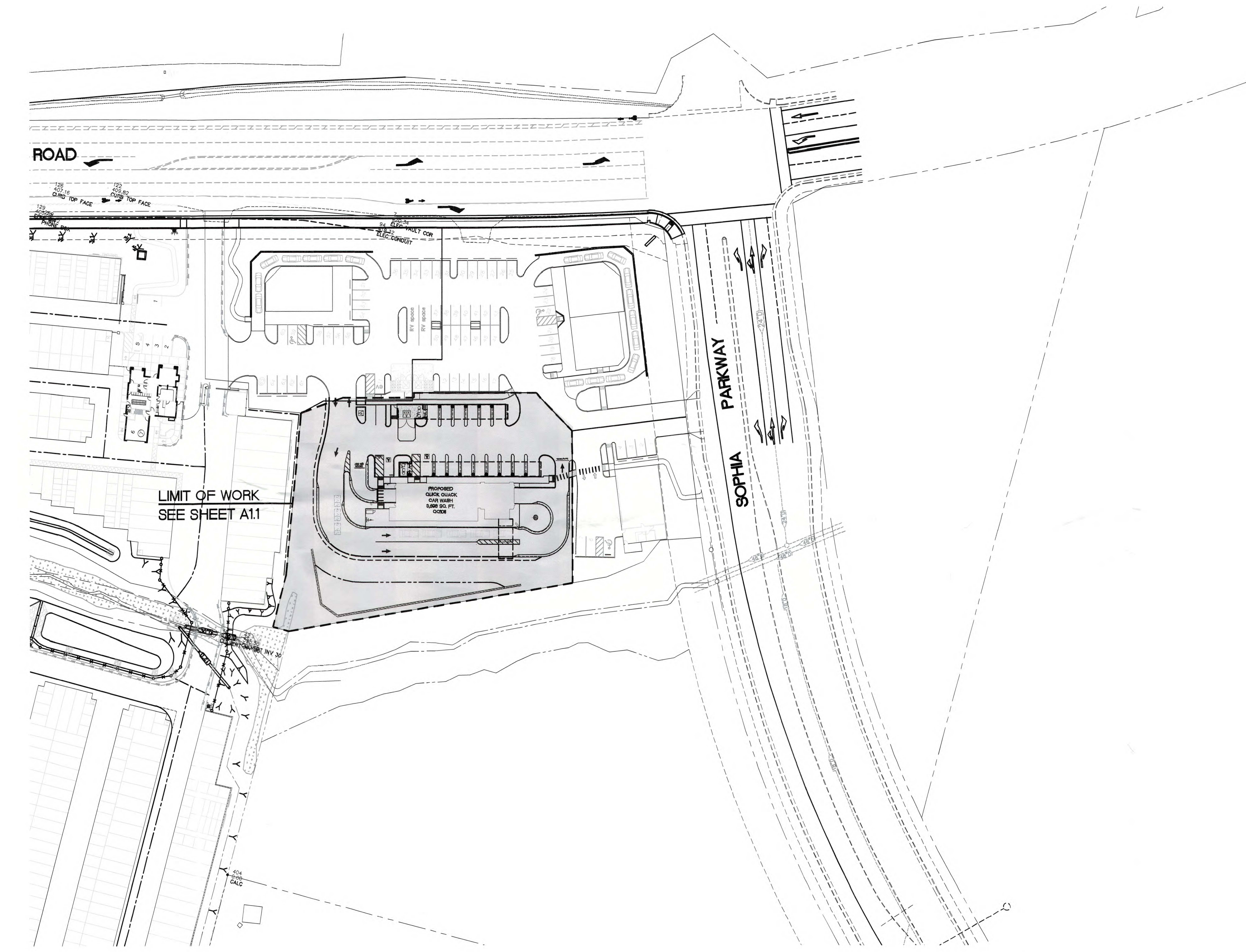


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C-31 OF PROJECT	08-27-21	1		DESIGNED: oms
		2		DRAWN: oms
		3		CHECKED: oms
		4		PROJ. MGR: RB
				FILE PATH:

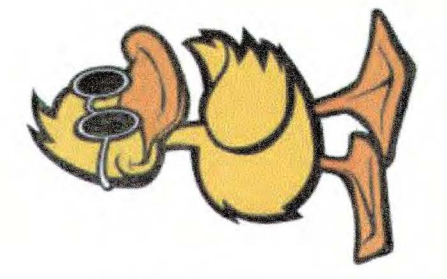
ams	associates, inc.
801 YONACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778	
GRADING PLAN	PLANNING ENGINEERING SURVEYING
QUICK QUACK CAR WASH #6-073	
SOFIA PARKWAY AND GREEN VALLEY ROAD	
EL DORADO HILLS	EL DORADO COUNTY CALIFORNIA



SHEET	DATE	REV #	BY	DATE	DESCRIPTION
C-4.1 of PROJECT 21-2540	08-27-21				
	DESIGNED:	oms			
	DRAWN:	oms			
	CHECKED:	oms			
	PROJ. MGR:	RB			
REGISTERED PROFESSIONAL ENGINEER No. 33142 Exp. 6-30-2022 CIVIL STATE OF CALIFORNIA					
ams associates, inc. 801 YONAGO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778 PLANNING ENGINEERING SURVEYING					
UTILITY PLAN QUICK QUACK CAR WASH #6-073 SOFIA PARKWAY AND GREEN VALLEY ROAD EL DORADO HILLS EL DORADO COUNTY CALIFORNIA					



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REVISIONS

#	DATE	DESCRIPTION
1		
2		
3		
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10		

**QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL. DORADO HILLS, CA**

**OVERALL
SITE PLAN**

DATE: APRIL 2021
CRM PROJECT #: 2088

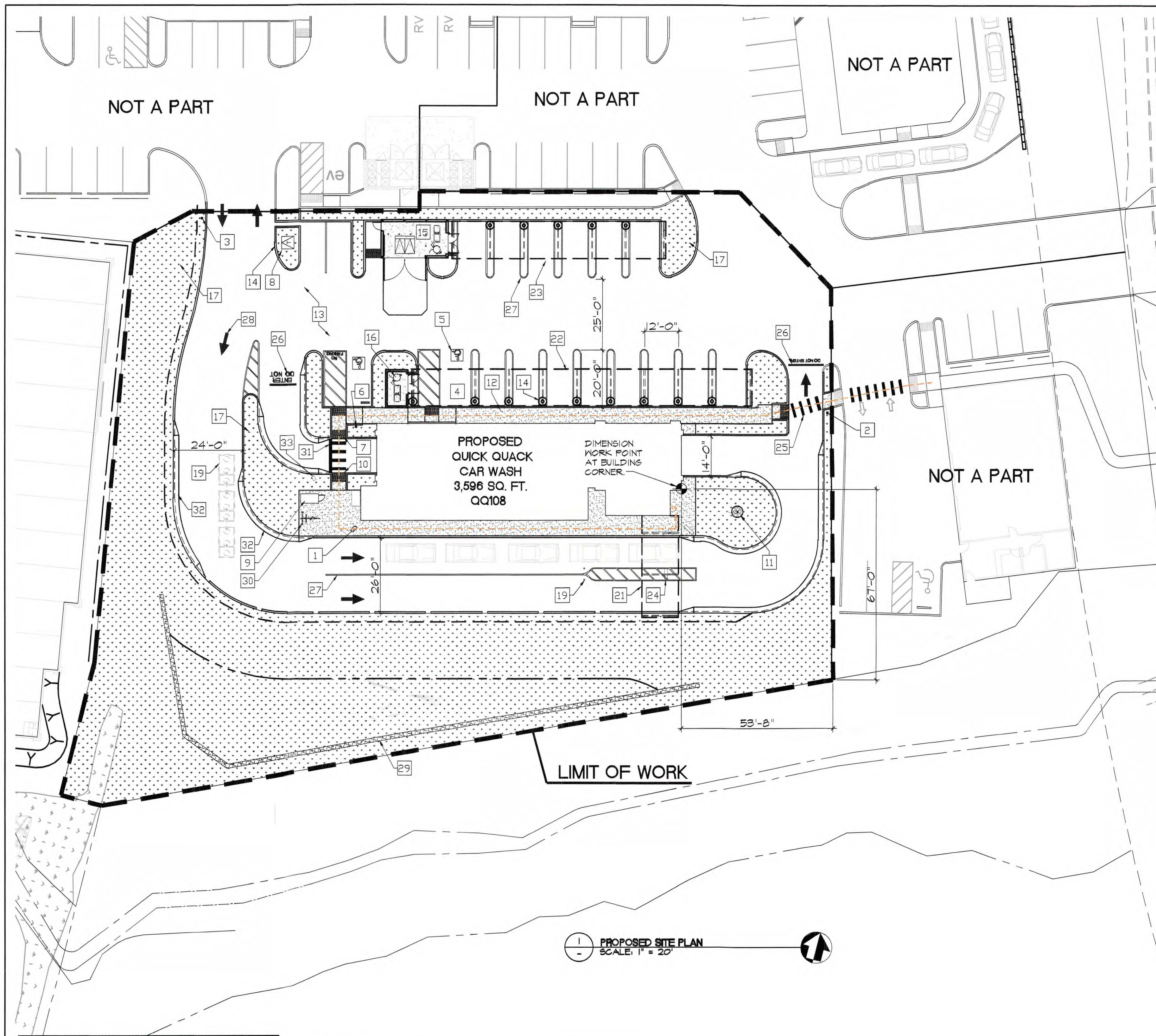
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF CARISSIM ROHRER MC MULLEN ARCHITECTS AND PLANNERS, INCORPORATED AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF CARISSIM ROHRER MC MULLEN ARCHITECTS AND PLANNERS, INCORPORATED.



PLANNING DOCUMENTS

OVERALL SITE PLAN
SCALE: 1" = 40'

A1.0



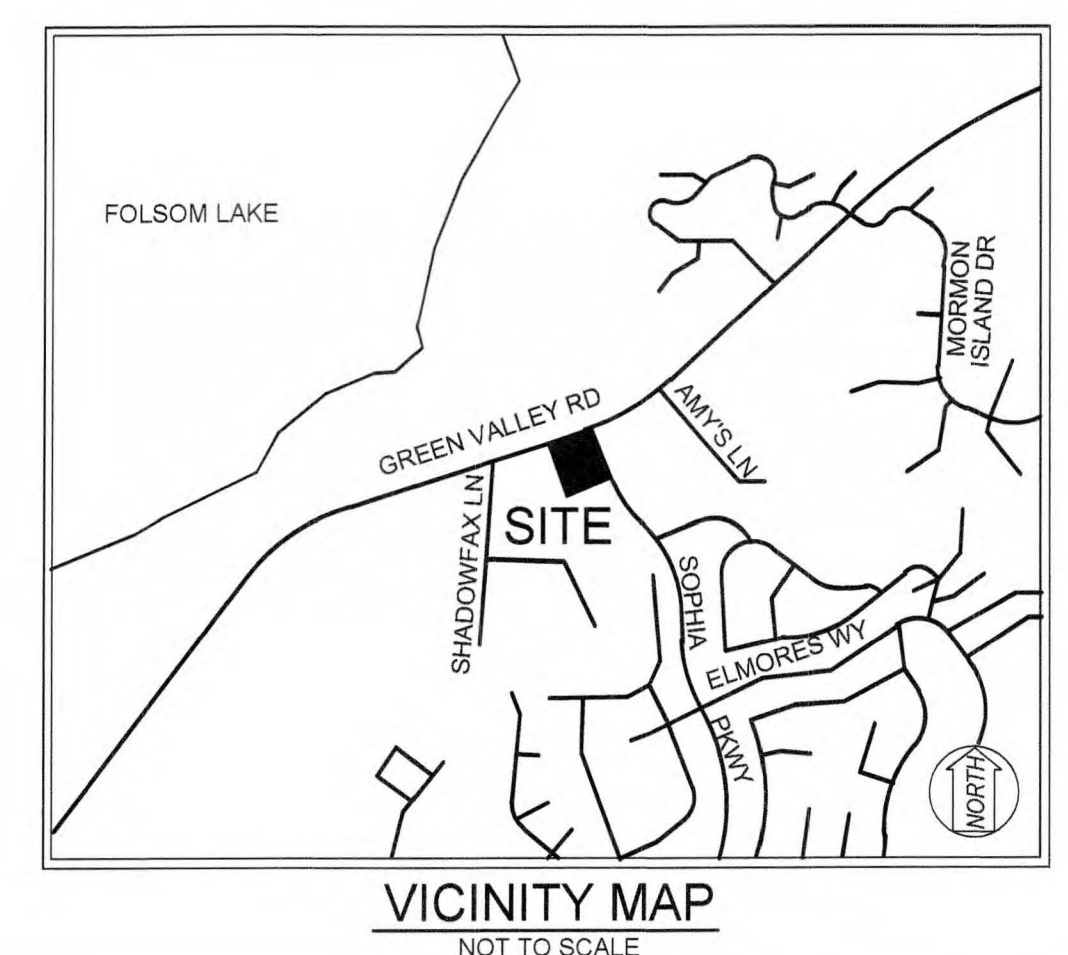
- KEYNOTES**
- 1 ADA PATH OF TRAVEL SHOWN DASHED.
 - 2 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL.
 - 3 NEW TOW AWAY ACCESSIBILITY PARKING SIGN AT ENTRANCE
 - 4 NEW VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
 - 5 NEW INTERNATIONAL SYMBOL AT PARKING STALL (TYPICAL 2 PLACES)
 - 6 NEW ACCESSIBLE PARKING SIGN (TYPICAL 2 PLACES)
 - 7 NEW TRUNCATED DOMES (TYPICAL 6 PLACES)
 - 8 NEW ELECTRICAL TRANSFORMER. VERIFY EXACT LOCATION WITH ELECTRIC COMPANY
 - 9 NEW LONG TERM BIKE LOCKER
 - 10 NEW FLUSH SURFACE AT TRANSITION (TYPICAL)
 - 11 30 FOOT FLAG POLE. STYLE: "MEMORIAL" UNCOMMON USA, INC. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES.
 - 12 NEW CONCRETE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 2%. PER SOILS REPORT
 - 13 NEW CONCRETE DRIVE SLAB WITH WITH #4 BARS AT MID SLAB 24" O.C. EACH WAY. HEAVY BROOM FINISH PERPENDICULAR TO TRAFFIC - PER SOILS REPORT
 - 14 NEW 6" CONCRETE CURB (TYPICAL)
 - 15 NEW TRASH ENCLOSURE. SEE DRAWING A6.0
 - 16 NEW VACUUM ENCLOSURE. SEE DRAWING A6.1
 - 17 NEW LANDSCAPING - SEE LANDSCAPE DRAWINGS
 - 18 NEW 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE (TYPICAL 4 PLACES)
 - 19 NEW UNDERGROUND GREASE INTERCEPTOR - SEE CIVIL DRAWINGS
 - 20 NEW TRASH RECEPTACLES (TYPICAL 14 PLACES)
 - 21 NEW 13'-0" X 35'-9" PAY CANOPY - SEE DRAWING A5.1
 - 22 NEW 13'-0" X 120'-6" SOUTH VACUUM CANOPY - SEE DRAWING A5.2
 - 23 NEW 13'-0" X 75'-9" NORTH VACUUM CANOPY - SEE DRAWING A5.3
 - 24 NEW DISPLAY/PRICE SIGN - REFERENCE ONLY (UNDER SEPARATE PERMIT) (TYPICAL 2 PLACES)
 - 25 NEW HIGHWAY PAINT WHITE 12" WIDE @ 36" O.C. PEDESTRIAN STRIPING (TYPICAL 2 PLACES)
 - 26 NEW HIGHWAY PAINT YELLOW 18" "DO NOT ENTER"
 - 27 NEW HIGHWAY PAINT YELLOW 4" STRIPING
 - 28 NEW HIGHWAY PAINT YELLOW PAVEMENT MARKINGS (TYPICAL)
 - 29 RETAINING WALL BY OTHERS
 - 30 NEW BICYCLE RACK
 - 31 NEW TRENCH DRAIN
 - 32 NEW ROLLED CURB (TYPICAL)
 - 33 NEW "WAIT/GO" SIGN

SITE NUMBER: 0-073
 BUILDING: QQ-108

SITE AREA: TBD
 STACKING LANES: 2 LANES
 STACKING WIDTH: 26'-0"
 VACUUM STALLS: 14 - 12'-0" x 20'-0"
 VACUUM PRODUCER: 1 - 40HP AND 1 - 30 HP
 ADA PARKING: 2 - 9'-0" x 20'-0"
 PARKING STALLS: 2 - 9'-0" x 20'-0"
 BUILDING AREA: 3,596 S.F.
 BUILDING SPRINKLED: NO
 QB STATION ATTACHED: YES
 BUILDING LENGTH: 108'-0"
 SHOWROOM LENGTH: 106'-8"
 CONVEYOR TRENCH LENGTH: 106'-8"
 CONVEYOR LENGTH: 105'-10"

CONVEYOR TYPE: REAR WHEEL PUSH

SIGNATURE: _____
 APPROVAL DATE: _____



PARKING ANALYSIS

NEW 9'-0" X 19'-0" STANDARD STALL	2 STALLS
NEW 9'-0" X 19'-0" ADA STALL	2 STALL
NEW 14'-0" X 19'-0" VACUUM STALLS	14 STALLS
NEW TOTAL PARKING STALLS	18 STALLS
NEW BIKE PARKING SPACES	3 SPACES
NEW LONG TERM BIKE PARKING SPACES	1 SPACES

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CRM Architects & Planners, Inc.
 Carissim Rohrer McMillen Architects and Planners, Inc.
 5800 Stamford Ranch Road # 120
 Rocklin, CA 95765 - phone: (916) 451-1500



**Quick Quack
 CAR WASH**

REVISIONS

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**QUICK QUACK CAR WASH
 STORE #6-073
 GREEN VALLEY ROAD AND
 SOPHIA PARKWAY
 EL DORADO HILLS, CA**

SITE PLAN

DATE: APRIL 2021
 CRM PROJECT #: 2008

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PLANNING DOCUMENTS

A11

PLANT SCHEDULE

TREES

QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
2	Acer platanoides / Norway Maple	15 gal.	Moderate
2	Cercis canadensis / Eastern Redbud	15 gal.	Low
4	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle	15 gal.	Low
2	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	15 gal.	Moderate
3	Quercus rubra / Red Oak	15 gal.	Low
2	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal.	Moderate

SHRUBS

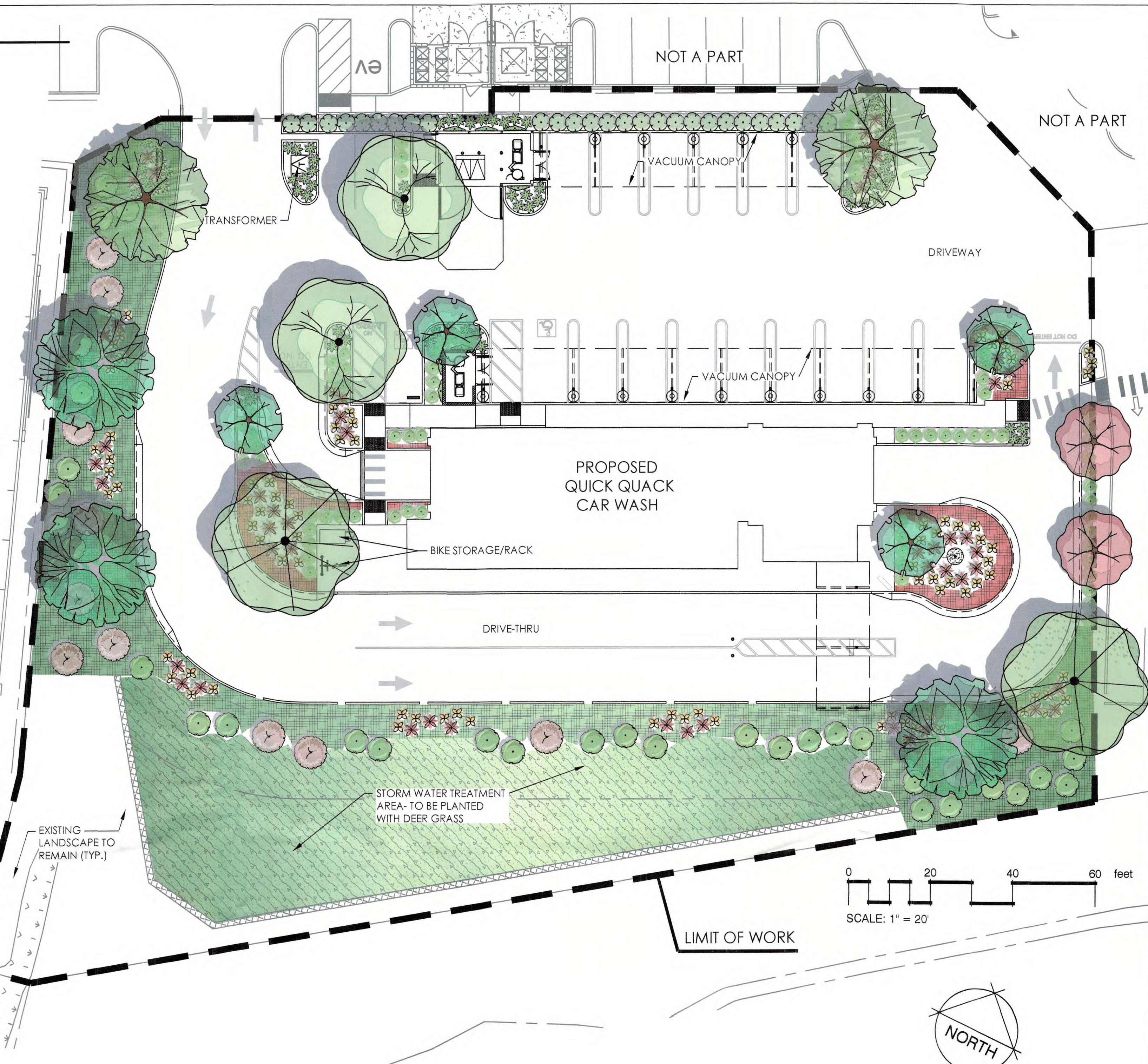
QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
35	Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita	5 gal.	Low
74	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low
27	Cistus x purpureus / Orchid Rockrose	5 gal.	Low
13	Cotinus coggygria 'Royal Purple' / Royal Purple Smoke Tree	5 gal.	Low
73	Dietes x 'Orange Drop' / Orange Drop Fortnight Lily	5 gal.	Low
7	Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia	15 Gal.	Moderate
50	Phormium tenax 'Firebird' / Fire Bird Flax	5 gal.	Low
87	Yucca recurvifolia 'Walbristar' / Bright Star Soft Leaf Yucca	5 gal.	Low

GROUND COVERS

QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
129	Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1 gal.	Low	72" o.c.
467	Muhlenbergia rigens / Deer Grass	1 gal.	Low	42" o.c.
147	Verbena x hybrida 'Homestead' / Purple Spreader Garden Verbena	1 gal.	Low	24" o.c.

GENERAL NOTES

- This preliminary Landscape Plan is in relative compliance with Landscape plans developed by Sierra Design Group.
- Refer to Landscape Plans by Sierra Designs for overall parking lot shading compliance.
- Landscape planting areas (except portion of Bio-retention swale planted with fescue) shall receive a minimum 3"-4" layer of organic mulch top dressing.
- Landscape planting and irrigation shall conform to City of El Dorado Water Conservation Standards.
- Contact USA North (811) prior to commencing construction in order to determine any conflicts with existing utilities.
- New trees planted within 5' of pavement or a permanent structure shall be installed with a linear root barrier.



Water Efficient Landscape Worksheet- New plants

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	15,327	5,671	177,559 GAL.
MODERATE WATER USE PLANTS (TREES)	.5	DRIP	.81	.62	330	205	6,419 GAL.
TOTALS					(A) 15,657	(B) 5,876	

ETWU Total 183,978 GAL.

Maximum Applied Water Allowance (MAWA). MAWA = $\frac{[ETa] \times [Conversion\ factor]}{(50.5) \times (.62)} \times \frac{[ETAF] \times [Landscape\ Area]}{(45 \times 15,657)} + [(1-ETAF) \times SLA] \times (1.45) \times 0 = 220,599$ GALLONS

Estimated Total Water use (ETWU). ETWU = $\frac{[ETa] \times [Conversion\ factor]}{(50.5) \times (.62)} \times \frac{[ETAF] \times [Area]}{(5,876)} = 183,978$ GALLONS

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 5,876
Total Area	(A) 15,657
Average ETAF	(B / A) .38

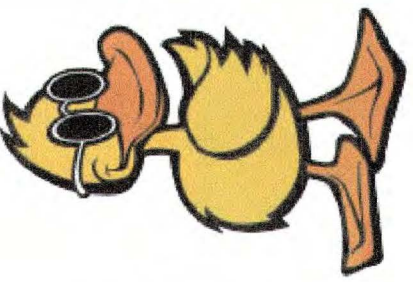
Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

Rodney L. Scoccalo 11-15-21

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REVISIONS

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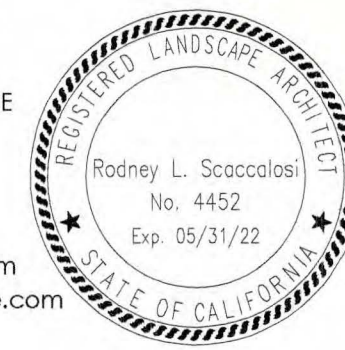
QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

LANDSCAPE PLAN

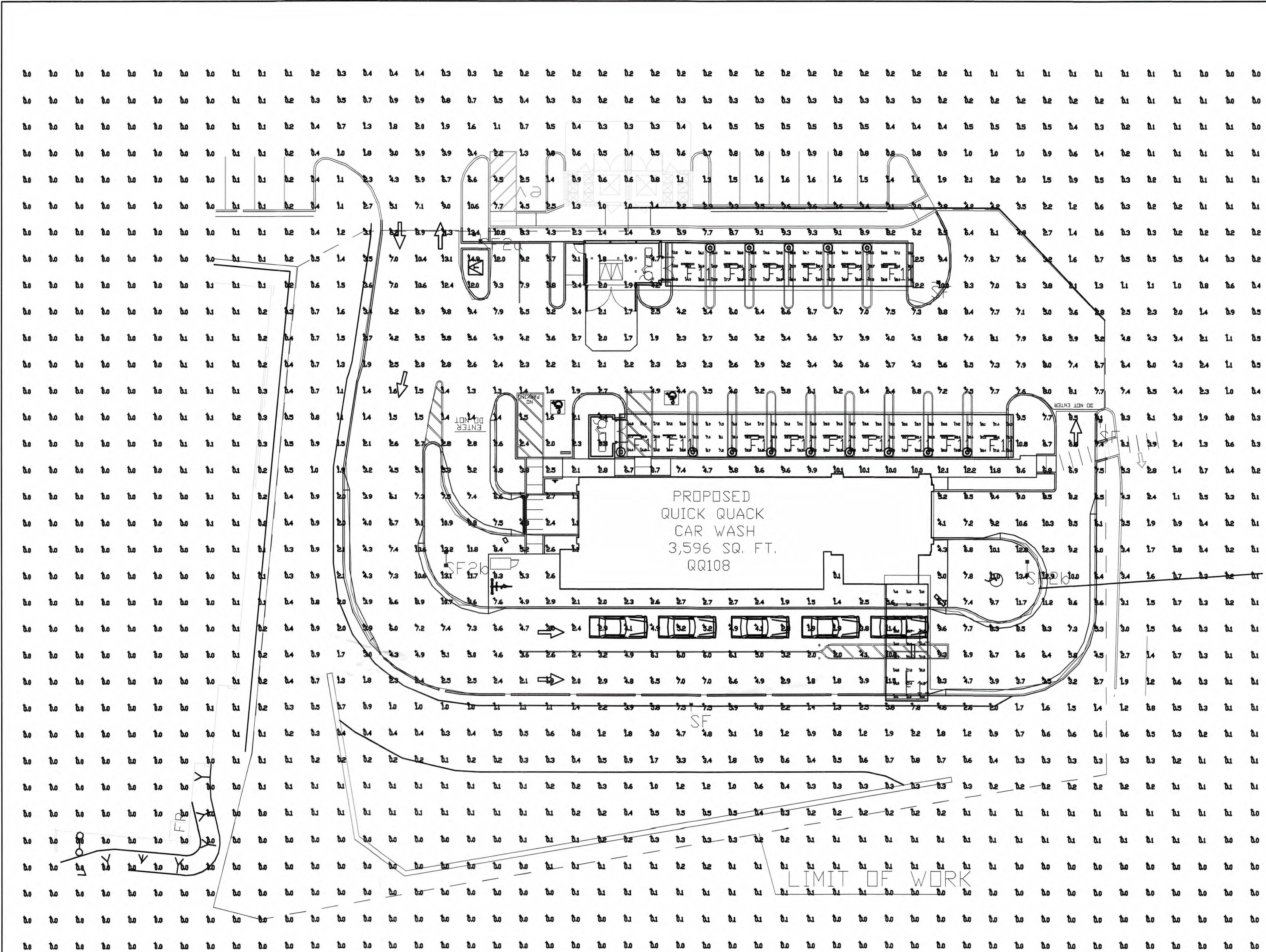
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PLANNING DOCUMENTS



MRS

Pole to be used for flag pole light

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE	Illuminance	Fc	1.97	14.9	0.0	N.A.	N.A.
PAY CANDPY	Illuminance	Fc	12.87	18.7	4.6	2.80	4.07
VACUUM CANDPY 1	Illuminance	Fc	18.55	23.1	10.8	1.72	2.14
VACUUM CANDPY 2	Illuminance	Fc	17.63	23.7	6.7	2.63	3.54
PAVED AREA	Illuminance	Fc	5.36	13.1	1.1	4.87	11.91

NOTE: STANDARD 120-277V UNLESS OTHERWISE SPECIFIED.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
□	2	SF2b	D180°	MRS-LED-18L-SIL-FT-50-70CRI-D180-16' POLE+2' BASE	1,000	1,000	1,000	33780	270
□	2	SF2a	@ 90 DEGREES	MRS-LED-18L-SIL-FT-50-70CRI-D90-16' POLE+2' BASE	1,000	1,000	1,000	33780	270
□	3	SF	SINGLE	MRS-LED-18L-SIL-FT-50-70CRI-SINGLE-16' POLE+2' BASE	1,000	1,000	1,000	16890	135
□	17	F11	SINGLE	VT3204HUNV50 (FIXTURE BY OTHERS)	1,000	1,000	1,000	6778	51.95

Total Project Watts
Total Watts = 209615

QR CODE

LIGHTING PROPOSAL LD-154808

QUICK QUACK #6-073
GREEN VALLEY ROAD & SOPHIA PKWY
EL DORADO HILLS, CA

DATE: 4/28/21
SCALE: 1"=16'

SHEET 1 OF 1

- REVISIONS**
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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

PHOTOMETRIC
SITE PLAN

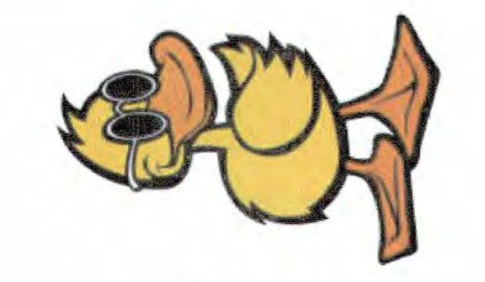
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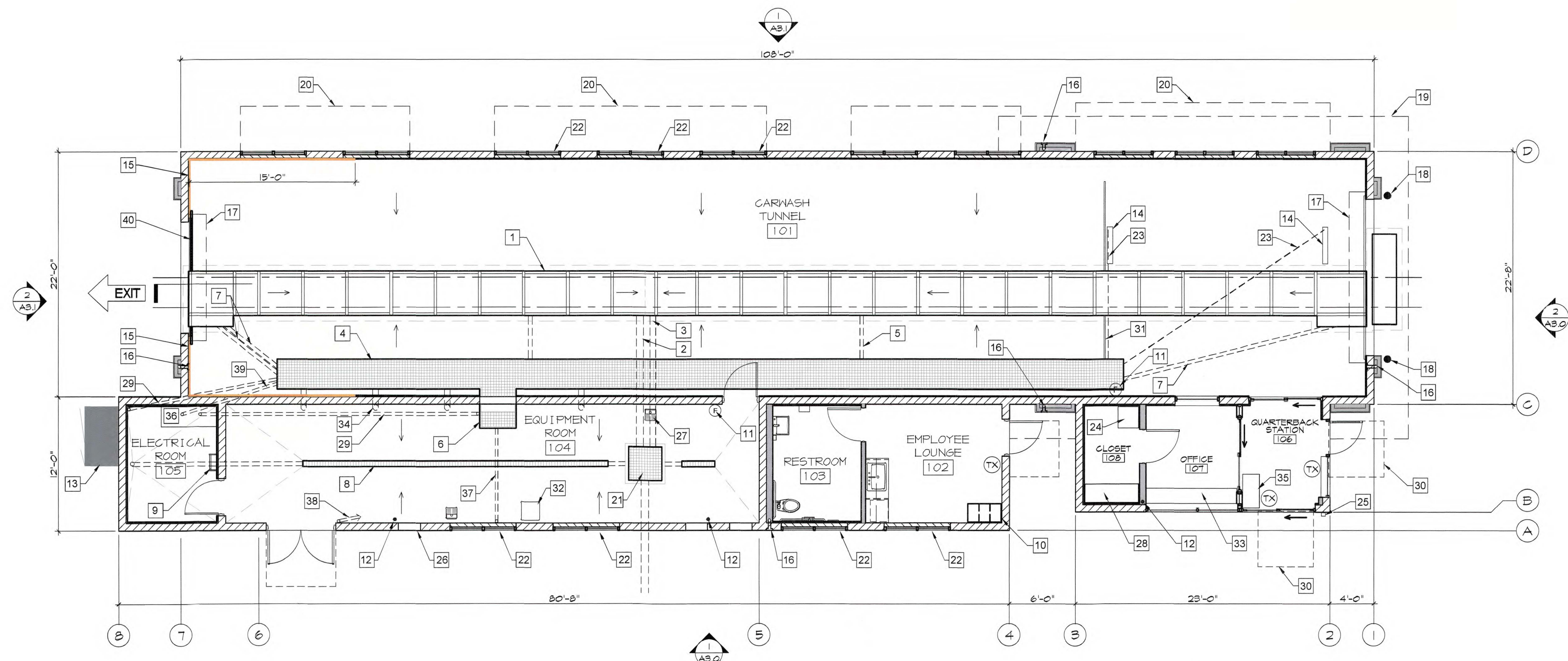
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PLANNING DOCUMENTS

A13





1 PROPOSED CAR WASH FLOOR PLAN
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN.
- 2 8" CONVEYOR TRENCH DRAIN PIPE.
- 3 6" CONVEYOR TRENCH OVERFLOW.
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH
- 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH. (TYPICAL 3 PLACES)
- 8 TRENCH DRAIN.
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) SEE DETAIL #15/A003 - CONTRACTOR SUPPLIED AND INSTALLED
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES)
- 12 ROOF DRAIN LEADER (TYPICAL 3 PLACES)
- 13 ELECTRICAL SERVICE SWITCHGEAR
- 14 3/4" RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL 2 PLACES)
- 15 ACOUSTIBLOCK QUIET FIBER
- 16 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS. SEE PLUMBING DRAWINGS (TYPICAL 4 PLACES)
- 17 COILING ROLL-UP DOOR. (TYPICAL 2 PLACES)
- 18 6" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES)
- 19 LINE OF ROOF ABOVE.
- 20 WALL MOUNTED CANOPY ABOVE. (TYPICAL 4 PLACES)
- 21 3'-0" X 3'-0" RECLAIM CLEAN-OUT
- 22 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
- 23 1/2" CONDUIT TO TIRE SWITCH TERMINATE AT END OF RECESS. CONDUIT TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 24 WALL MOUNTED IT CABINET
- 25 KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- 26 24" WIDE X 16" HIGH AIR VENT - SEE EXTERIOR ELEVATIONS (TYP. 3 PLACES)
- 27 FLOOR SINK. (TYPICAL 2 PLACES)
- 28 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 84" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE
- 29 3" CHASE (TYP. 3 PLACES)
- 30 LEVEL LANDING PER CBC (11B-404.2.4 AND TABLE 11B404.2.4) (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING
- 31 3/4" x 1 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES)
- 32 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION
- 33 3/4" MAXIMUM A.F.F. COUNTER TOP. SEE #5 DRAWINGS #3/A600
- 34 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM (TYPICAL 4 PLACES) VERIFY WITH OWNER FOR EXACT LOCATIONS)
- 35 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET
- 36 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCG PANEL
- 37 3" DIA. PVC CHASE FROM ACCESS OPENING TO FACE OF WALL
- 38 1" DIA. PVC CHASE TO BUG JUICE CONTROL PANEL
- 39 3" DIA. PVC CHASE CENTER OF MCG PANEL "HOUSE KEEPING PAD" TO EQUIPMENT TRENCH
- 40 3/4" X 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE. EXTEND 1'-0" PAST OPENING

NOTE:
ALL CONDUITS TO HAVE SWEEPS ONLY. 90 DEGREE CONDUIT/CHASE BENDS ARE NOT ALLOWED

REVISIONS

#	DATE	DESCRIPTION

QUICK QUACK CAR WASH STORE #6-073
GREEN VALLEY ROAD AND SOPHIA PARKWAY
EL DORADO HILLS, CA

FLOOR PLAN

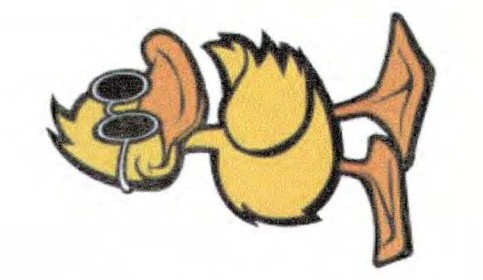
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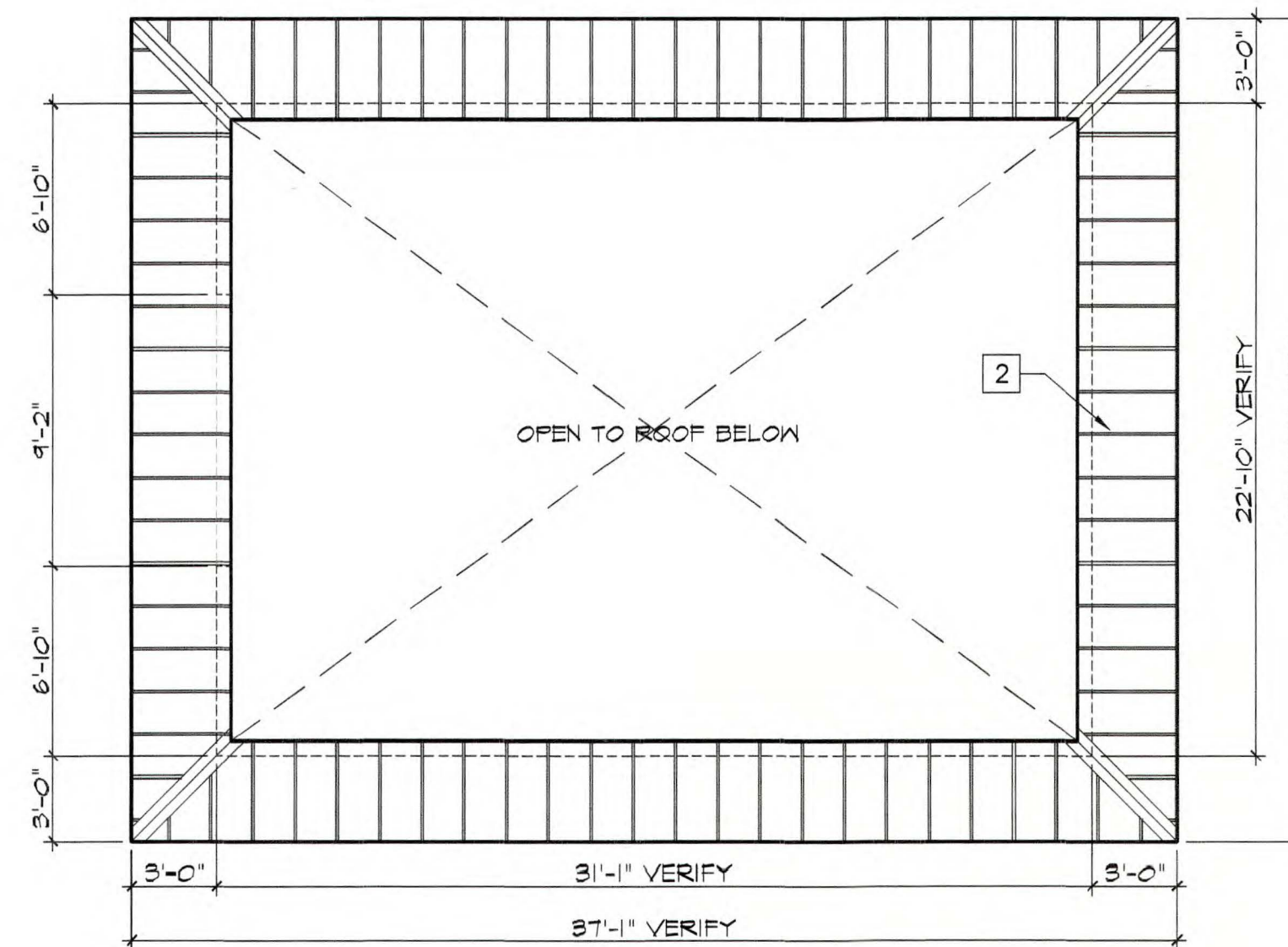
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PLANNING DOCUMENTS

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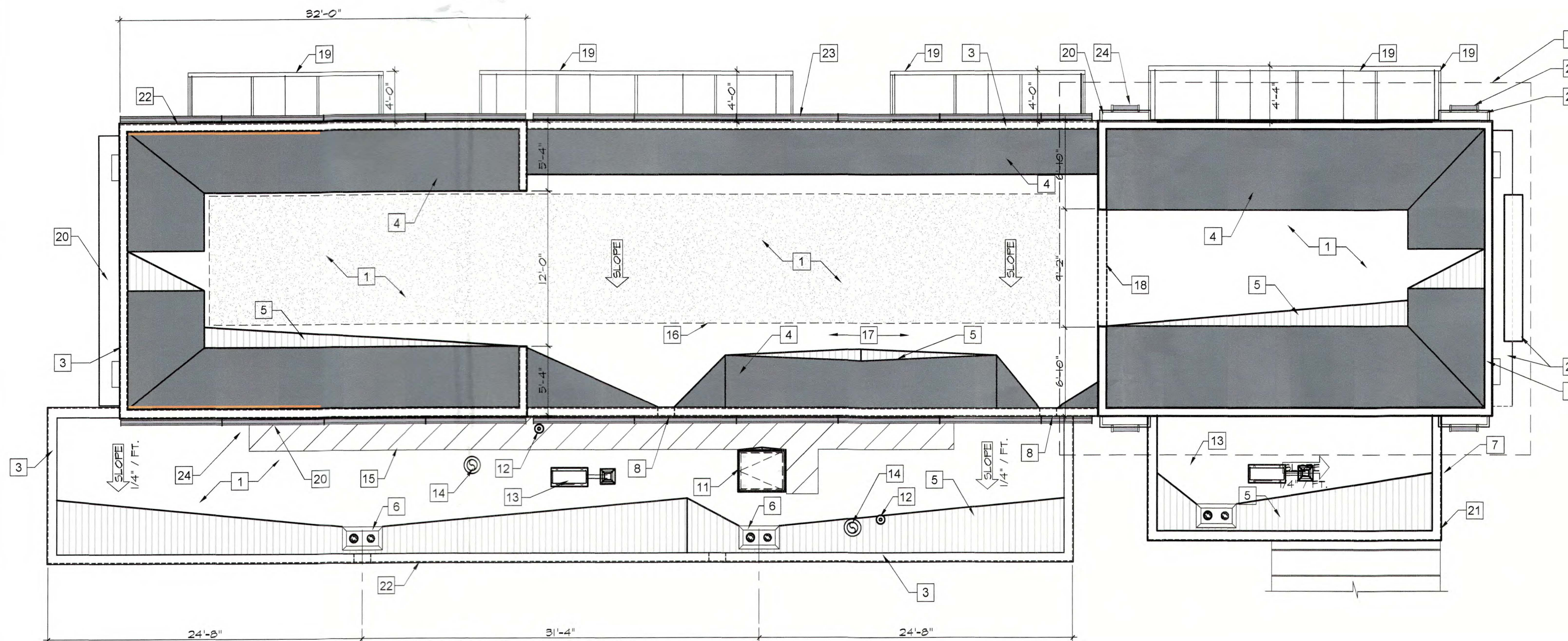




2 UPPER ROOF AT ENTRY TOWER
SCALE: 3/16" = 1'-0"

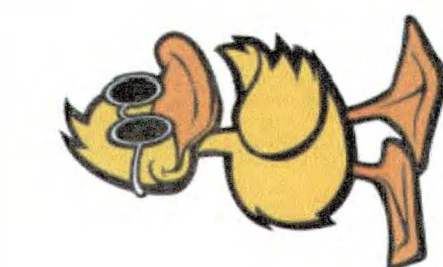
KEYNOTES

- 1 TPO MEMBRANE ROOFING. SEE DETAIL.
- 2 STANDING SEAM METAL ROOFING.
- 3 PRE-FINISHED METAL COPING AT TOP OF PARAPET WALL.
- 4 ROOF CRICKET, 1/2" ROOF SHEATHING OVER METAL STUD DIAGONAL BRACING SLOPE AT ONE TO ONE.
- 5 TAPERED RIGID INSULATION CRICKET WITH 1/2" ISOLATION BOARD (TYP).
- 6 ROOF DRAIN AND OVERFLOW IN RECESS. SEE PLUMBING DRAWINGS. (TYPICAL 2 PLACES)
- 7 THROUGH WALL OVERFLOW SCUPPER.
- 8 THROUGH WALL SCUPPER, SPILL TO ROOF BELOW.
- 9 OUTLINE OF UPPER ROOF AT EXIT TOWER. SEE UPPER ROOF PLAN
- 10 NOT USED
- 11 ROOF ACCESS LADDER HATCH.
- 12 EXHAUST FAN UNIT.
- 13 MECHANICAL UNIT TO BE CONCEALED FROM VIEW BY PARAPET.
- 14 PLUMBING VENT.
- 15 ROOF WALK PATH OVERLAY.
- 16 ROOF AREA DEDICATED TO POSSIBLE FUTURE SOLAR PANEL INSTALLATION.
- 17 ROOF AREA DEDICATED TO MAINTENANCE ACCESS TO POSSIBLE FUTURE SOLAR INSTALLATION.
- 18 OPENING IN WALL BETWEEN CRICKETS.
- 19 WALL MOUNTED METAL CANOPY BELOW (TYP).
- 20 CEMENT PLASTER FINISH AT TOP OF FURRED WALL FEATURE (TYP).
- 21 FREE STANDING METAL PAY STATION CANOPY BELOW.
- 22 WALL BELOW SHOWN DASHED.
- 23 LINEAR DOWN LIGHTING
- 24 PLASTER DOWN LIGHTING



1 PROPOSED CAR WASH ROOF PLAN
SCALE: 3/16" = 1'-0"

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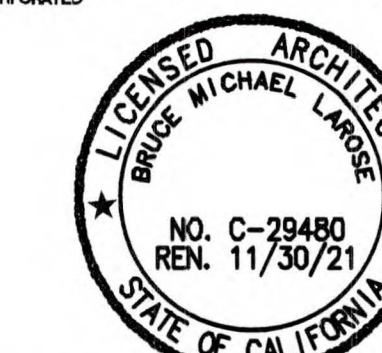
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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

ROOF PLAN

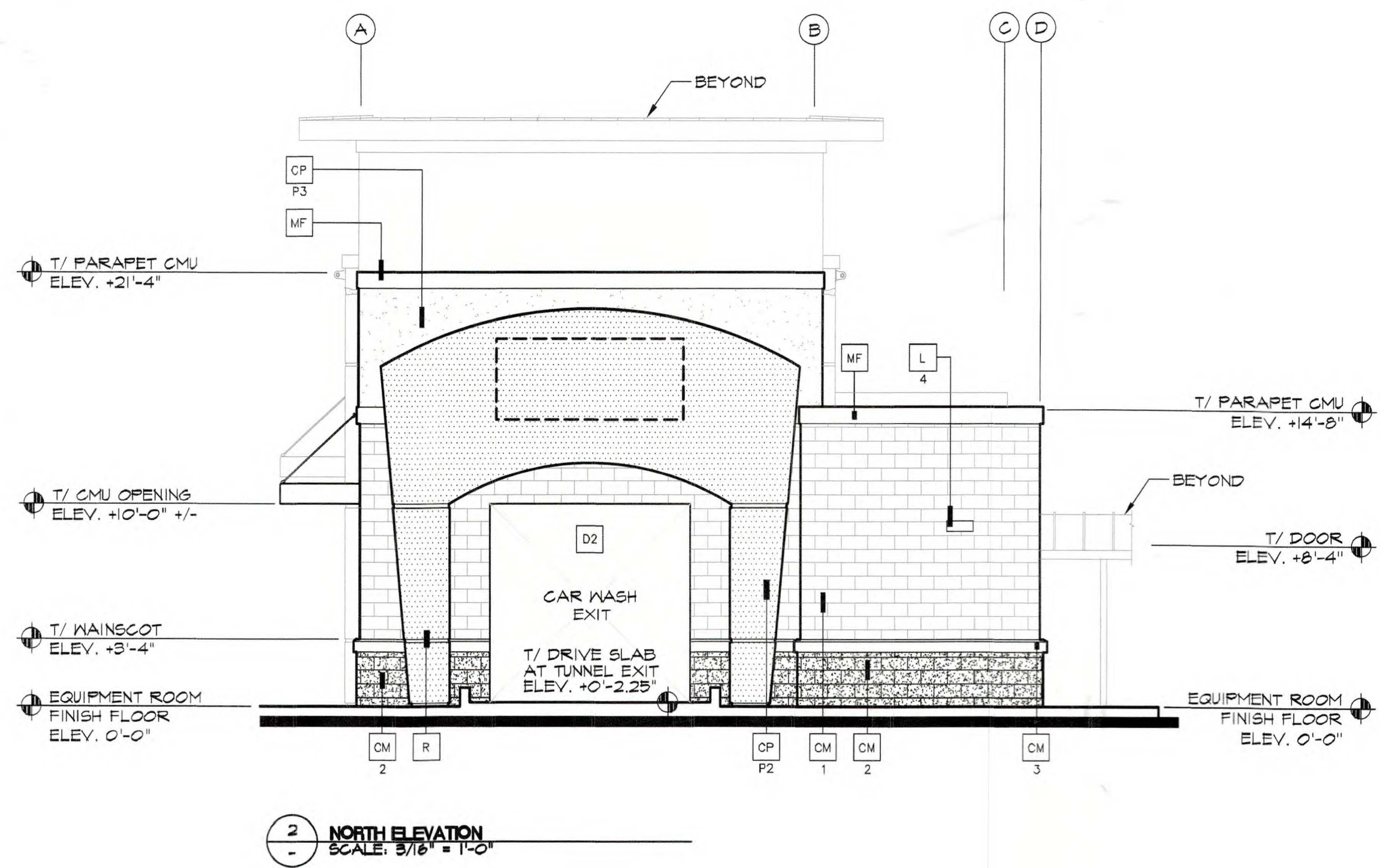
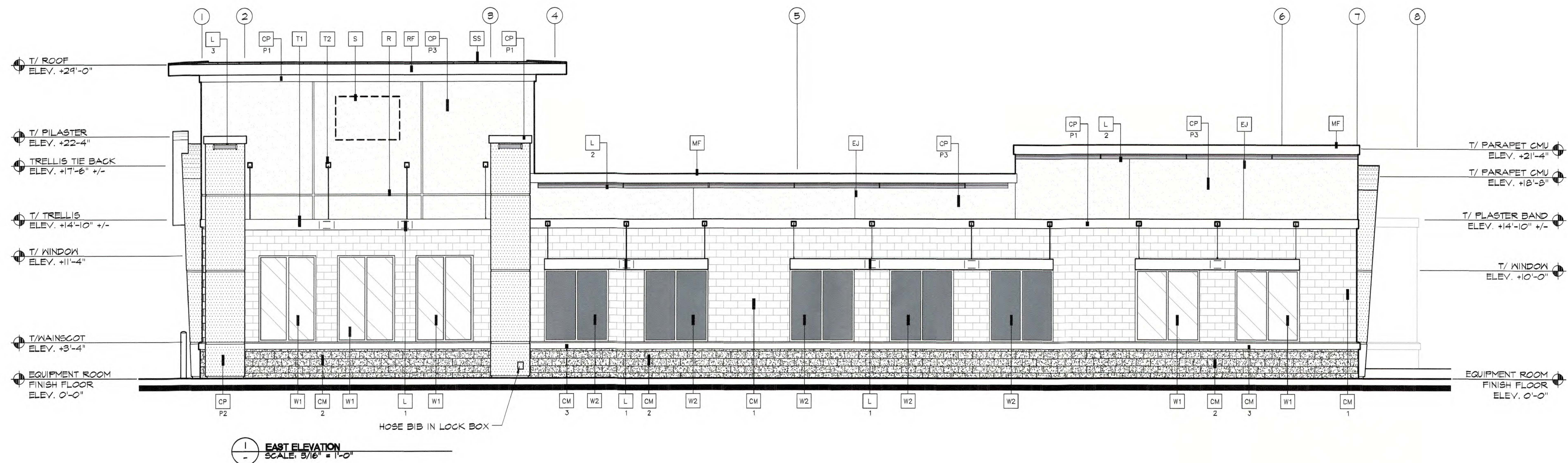
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PLANNING DOCUMENTS

A2.1



KEY NOTES:

- CM 1 BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY 'RAINLOG' WATER REPELLENT ADMIXTURE. MORTAR TO HAVE 'RAINLOG' FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 2 BASALITE SPLIT FACE CONCRETE MASONRY UNITS INTEGRAL COLOR STANDARD #190 DARK GRAY WITH INTEGRAL FACTORY 'RAINLOG' WATER REPELLENT ADMIXTURE. MORTAR TO HAVE 'RAINLOG' FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 3 PRECISION FACE CONCRETE MASONRY UNIT SILL INTEGRAL COLOR TO MATCH DARK GRAY MAINSCOT WITH INTEGRAL FACTORY 'RAINLOG' WATER REPELLENT ADMIXTURE. MORTAR TO HAVE 'RAINLOG' FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

- OP ACRYLIC PLASTER COLOR COAT COLOR DESIGNATION: P1 = MATCH SHERWIN WILLIAMS 'QUICK QUACK GREEN' P2 = MATCH SHERWIN WILLIAMS #6902 'DECISIVE YELLOW' P3 = MATCH SHERWIN WILLIAMS #1004 'SNOWBOUND' PLASTER COLOR COAT TO BE SAND FINISH
- D1 HOLLOW METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #1025 'BACKDROP'
- D2 OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #1025 'BACKDROP'
- D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

- DS THROUGH WALL SCUPPER COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
- EJ 1/4" DEEP REVEAL EXPANSION JOINT
- L LIGHT FIXTURE TYPE: L1 = LED RADIAL WALL SCONCE (DOWN ONLY) L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY) L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY) L4 = WALL PACK (DOWN ONLY)

- MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS 'QUICK QUACK GREEN' (GREEN)
- P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6903 'CHEERFUL' (YELLOW)
- R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
- RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS 'QUICK QUACK GREEN' (GREEN)
- RO P/V ROOF OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT FINISH
- S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.

- SS STANDING SEAM METAL ROOF FIRESTONE UCS - 'DARK IVY'
- T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS 'QUICK QUACK GREEN'
- T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS 'QUICK QUACK GREEN'
- V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
- W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

REVISIONS
DATE DESCRIPTION

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QUICK QUACK CAR WASH STORE #6-073
GREEN VALLEY ROAD AND SOPHIA PARKWAY
EL DORADO HILLS, CA

EXTERIOR ELEVATIONS

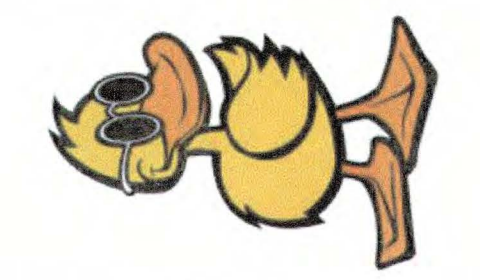
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CRM PROJECT # 2008

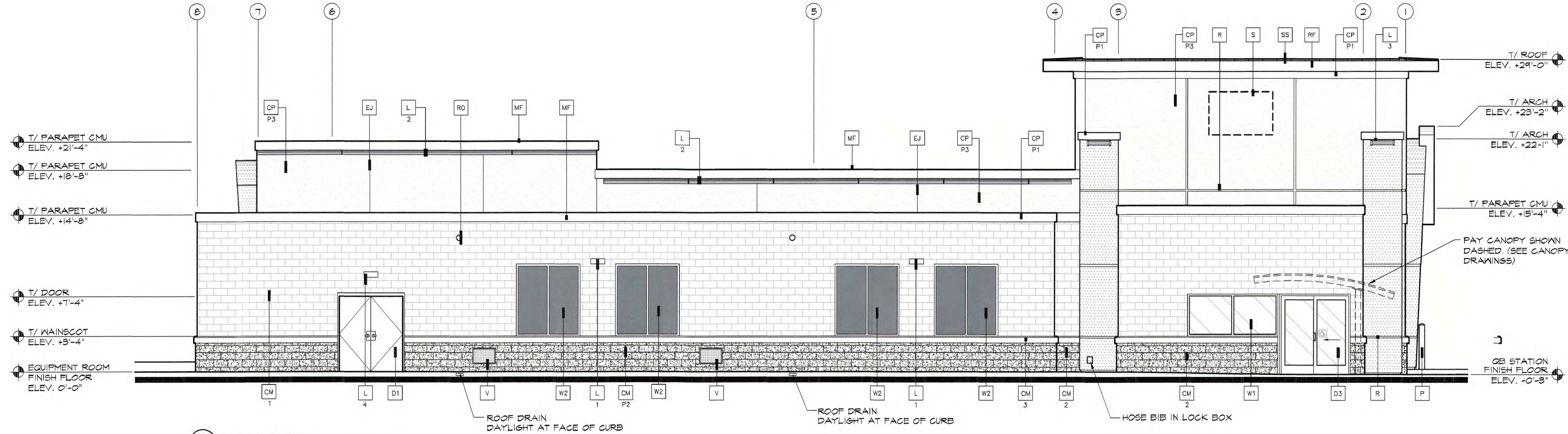
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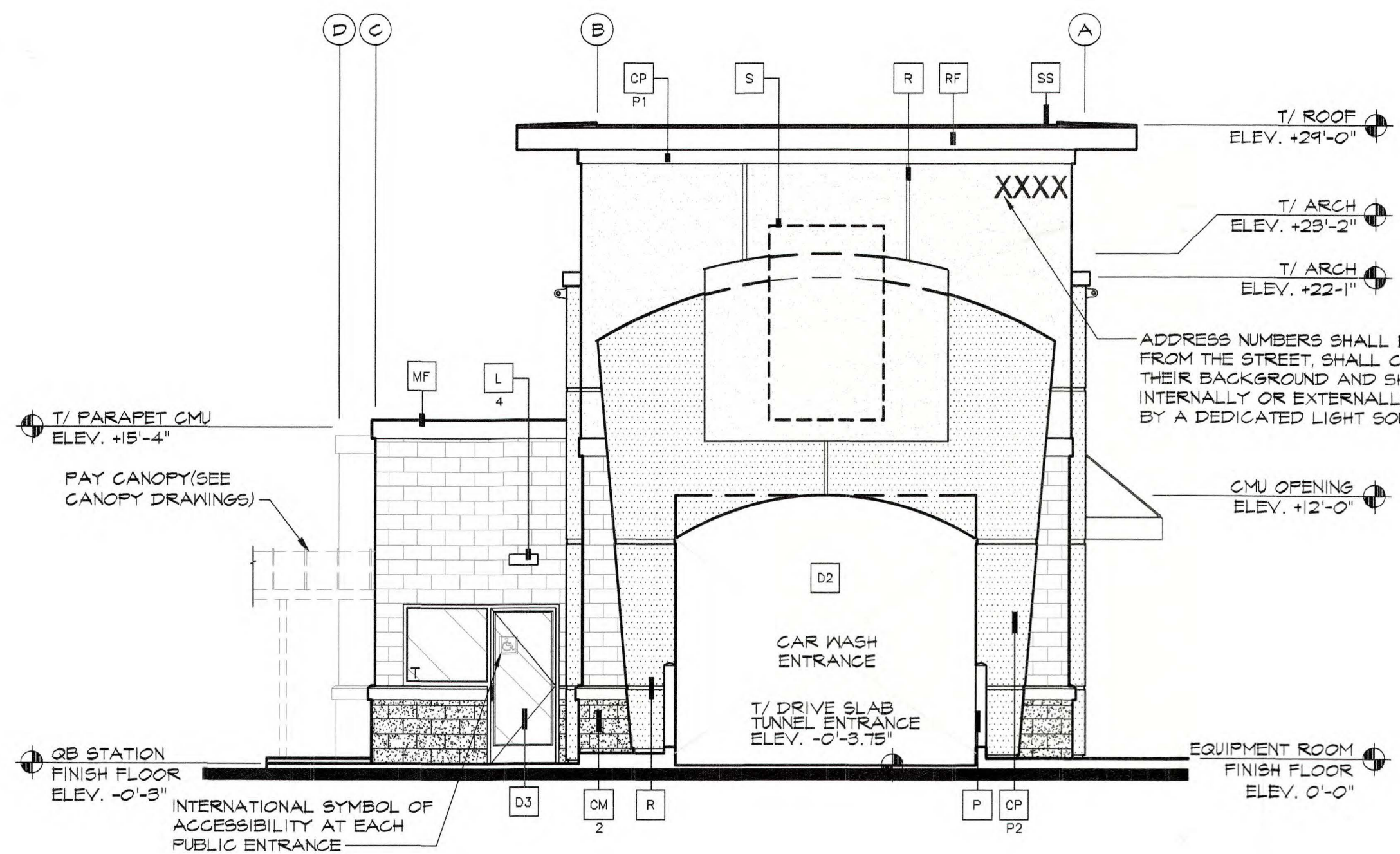
PLANNING DOCUMENTS

A3.0





1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

- CM 1 BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY "RAINLOG" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINLOG" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 2 BASALITE SPLIT FACE CONCRETE MASONRY UNITS INTEGRAL COLOR STANDARD #190 DARK GRAY WITH INTEGRAL FACTORY "RAINLOG" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINLOG" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 3 PRECISION FACE CONCRETE MASONRY UNIT SILL INTEGRAL COLOR TO MATCH DARK GRAY MAINSCOT WITH INTEGRAL FACTORY "RAINLOG" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINLOG" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

- CP ACRYLIC PLASTER COLOR COAT
COLOR DESIGNATION:
P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"
P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"
PLASTER COLOR COAT TO BE SAND FINISH
- D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
- D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
- D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

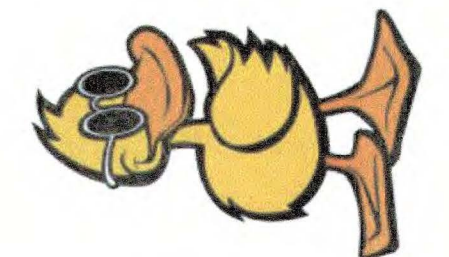
- DS THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
- EJ 1/4" DEEP REVEAL EXPANSION JOINT
- L LIGHT FIXTURE
TYPE:
L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED FILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)
CONTACT STEVE FRIEDMAN 1.262.504.5479 WITH GREE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)

- MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
- P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6903 "CHEERFUL" (YELLOW)
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**QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA**

EXTERIOR ELEVATIONS

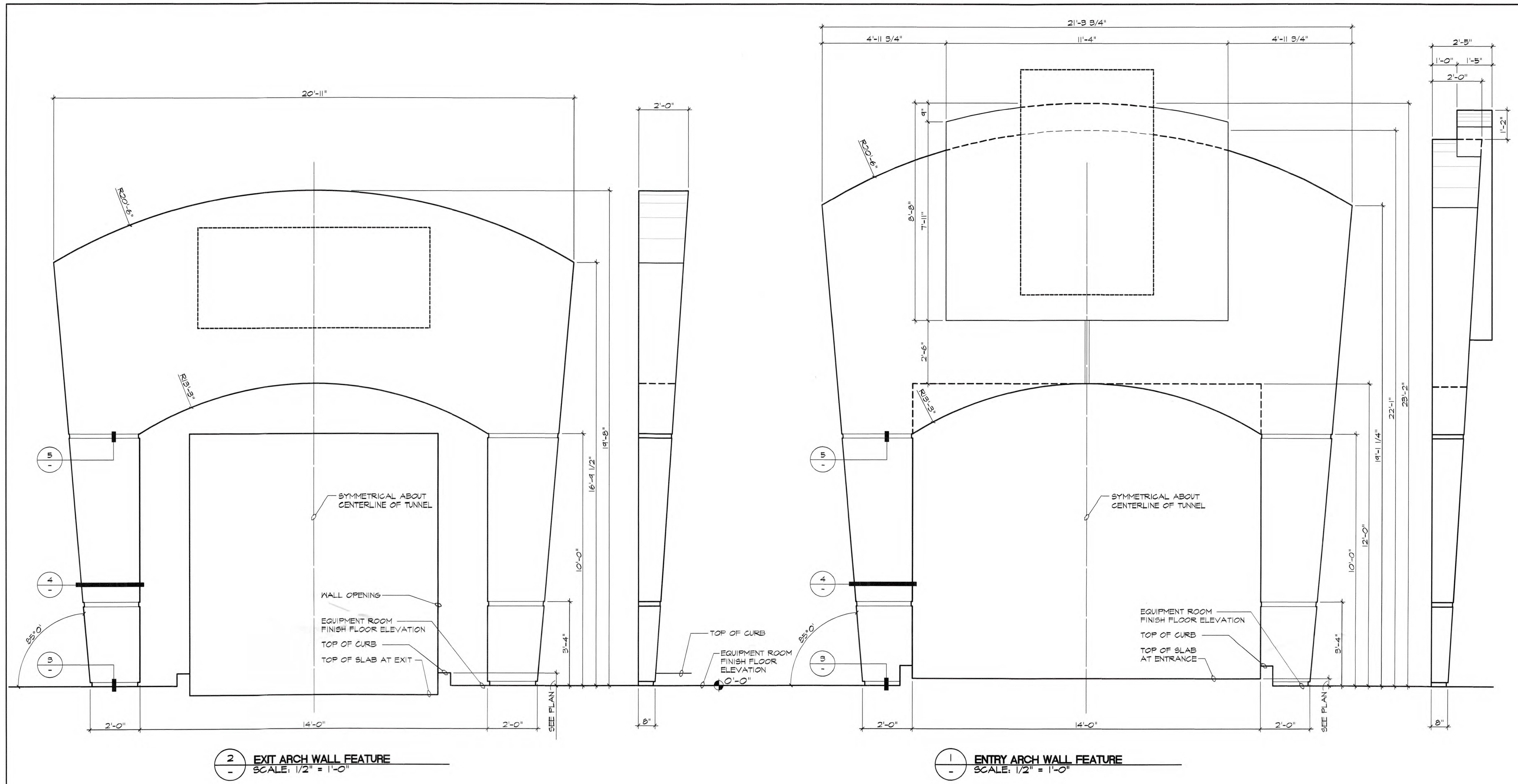
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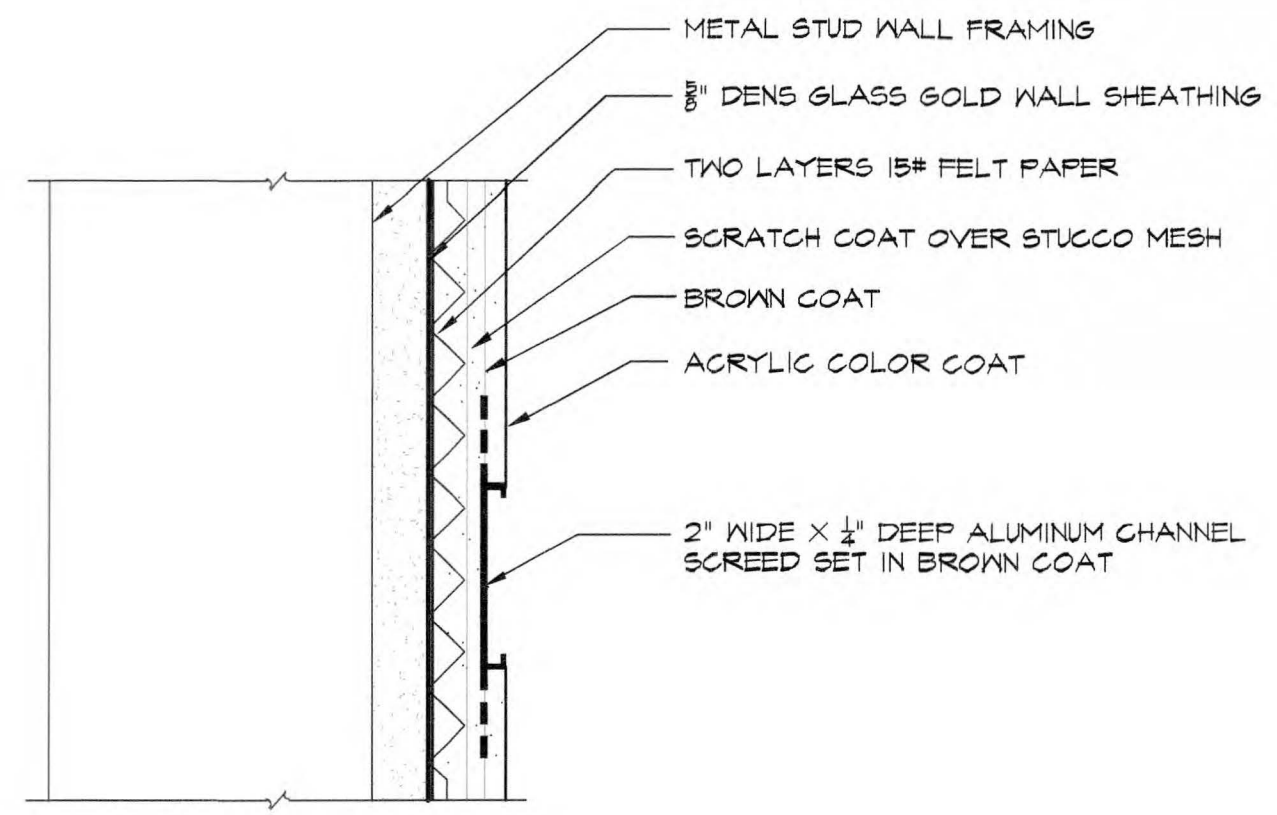
PLANNING DOCUMENTS

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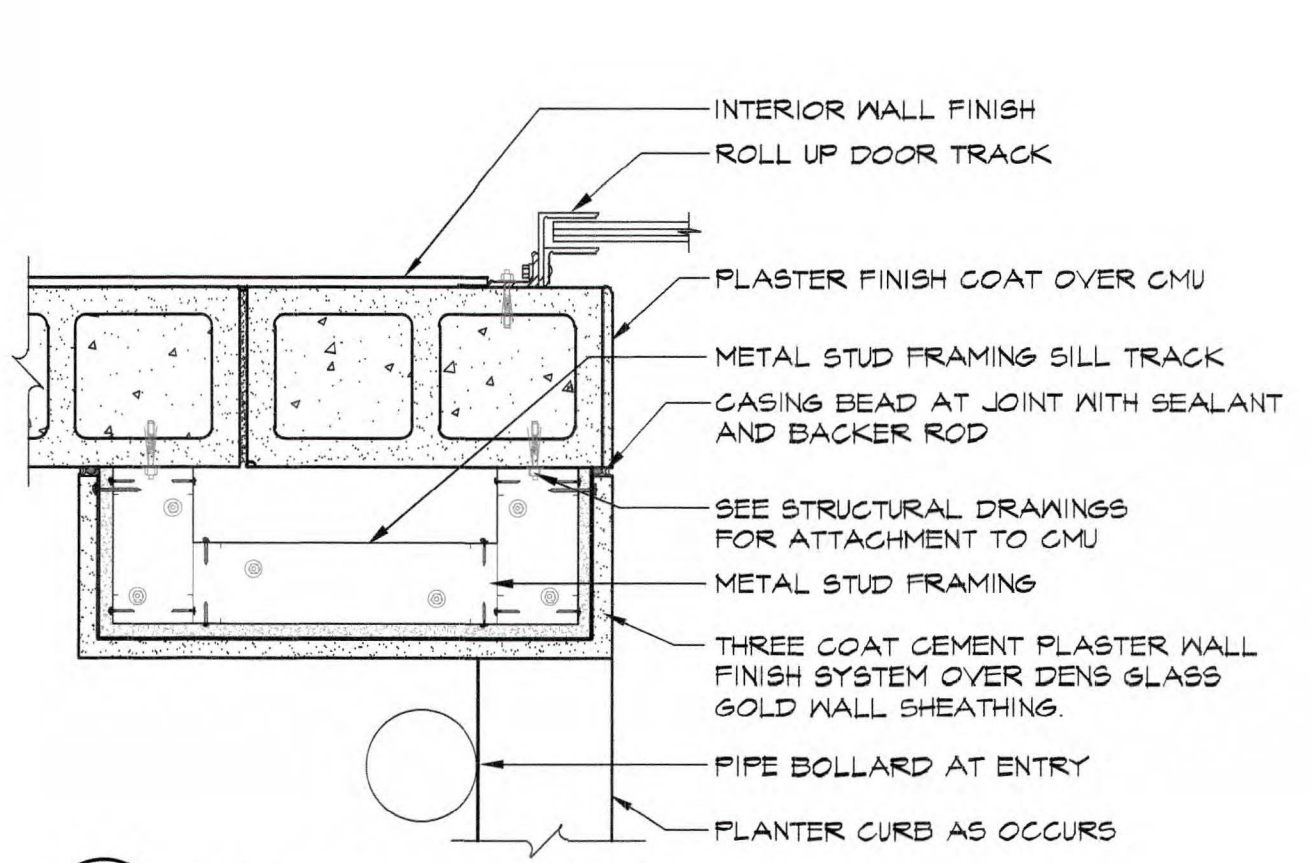


2 EXIT ARCH WALL FEATURE
SCALE: 1/2" = 1'-0"

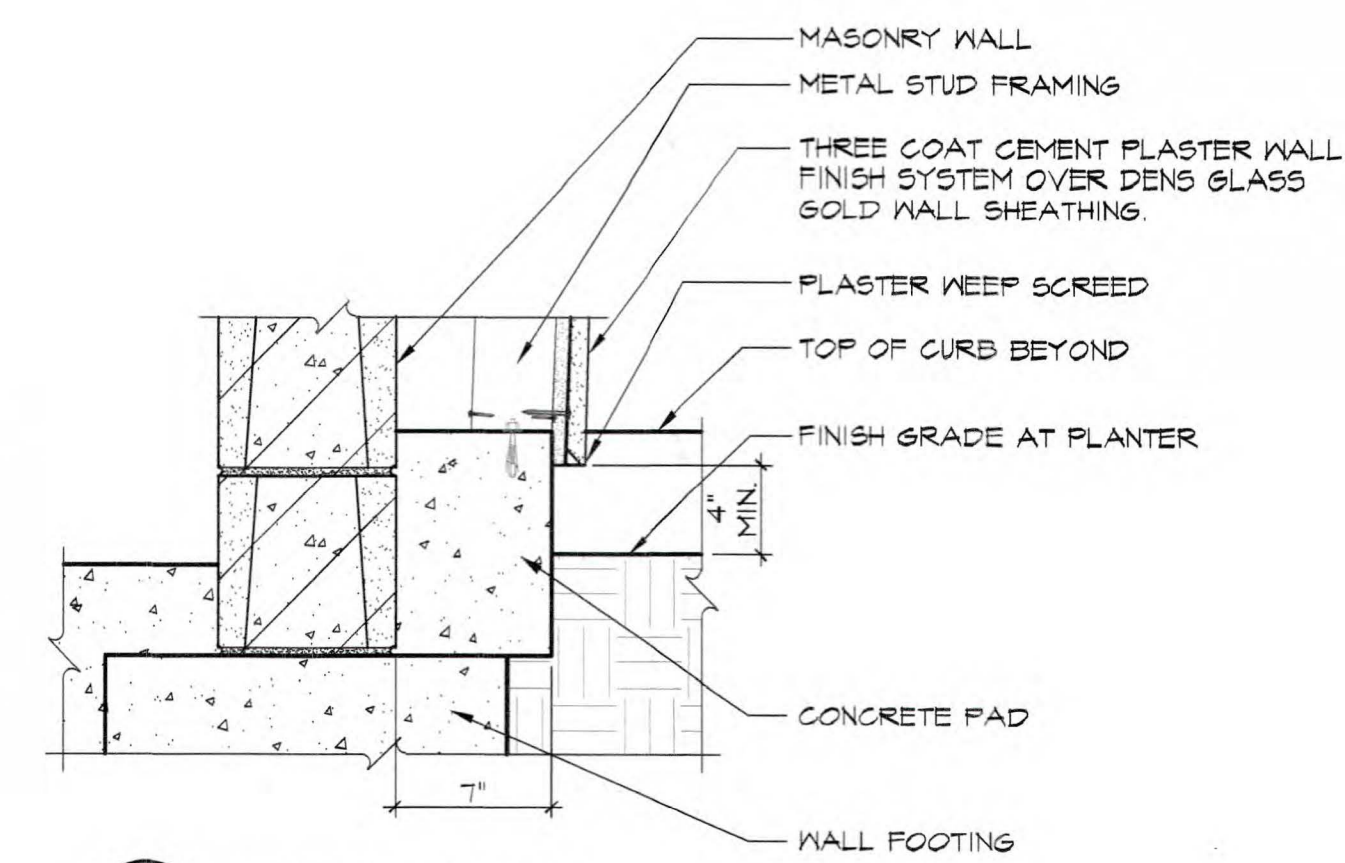
1 ENTRY ARCH WALL FEATURE
SCALE: 1/2" = 1'-0"



5 PLASTER CHANNEL SCREED REVEAL
HALF SCALE



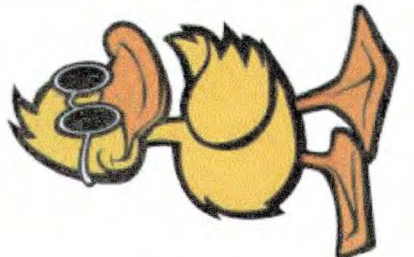
4 FEATURE WALL LEG PLAN
SCALE: 1/2" = 1'-0"



3 FEATURE WALL SILL
SCALE: 1/2" = 1'-0"

NOTE:
ALL EXPOSED CONCRETE TO HAVE SACK FINISH AT FOOTINGS FOR ARCADE AND PILASTERS (TYPICAL)

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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

ARCH WALL FEATURE ELEVATIONS

DATE: APRIL 2021
CRM PROJECT #: 2028

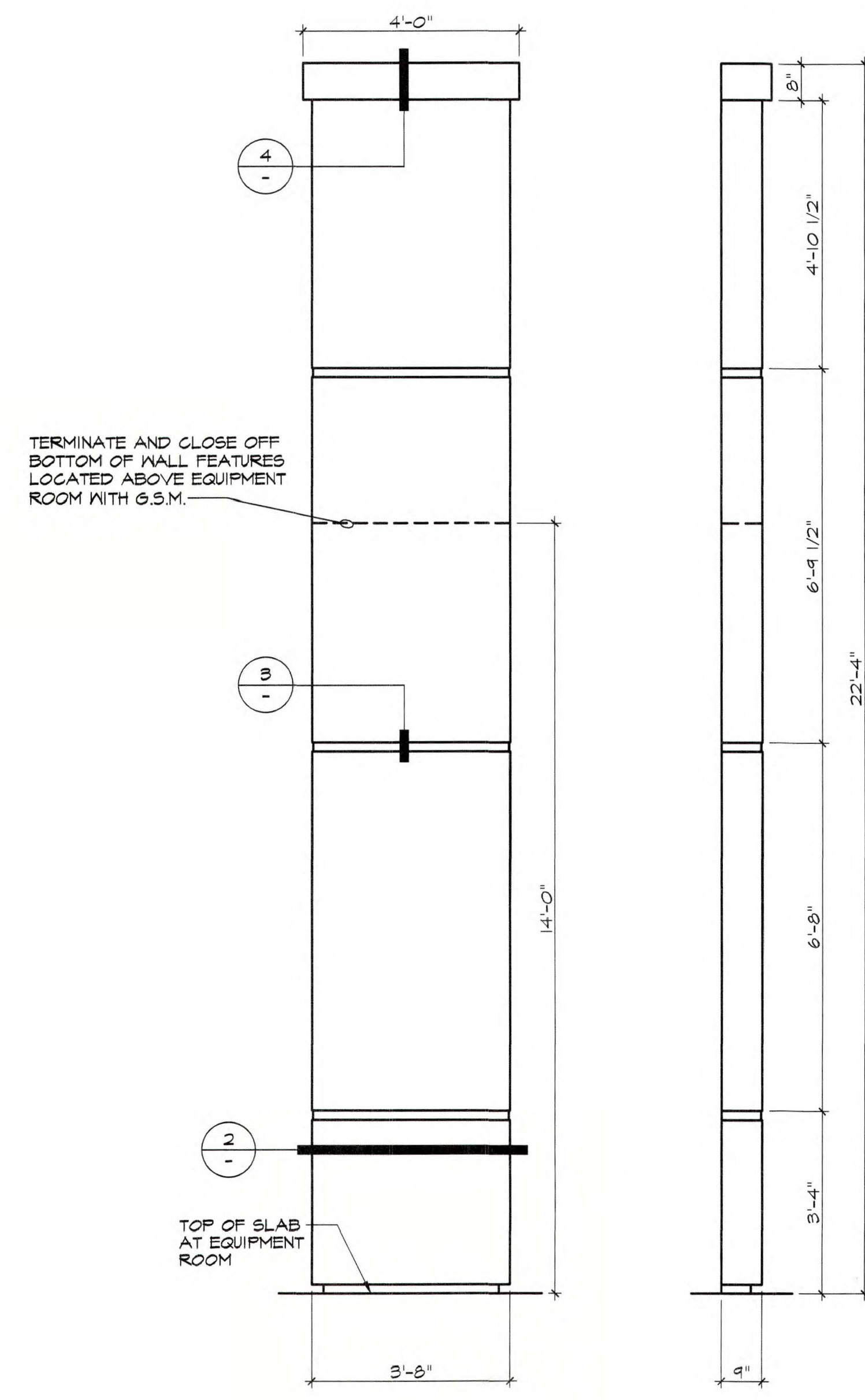
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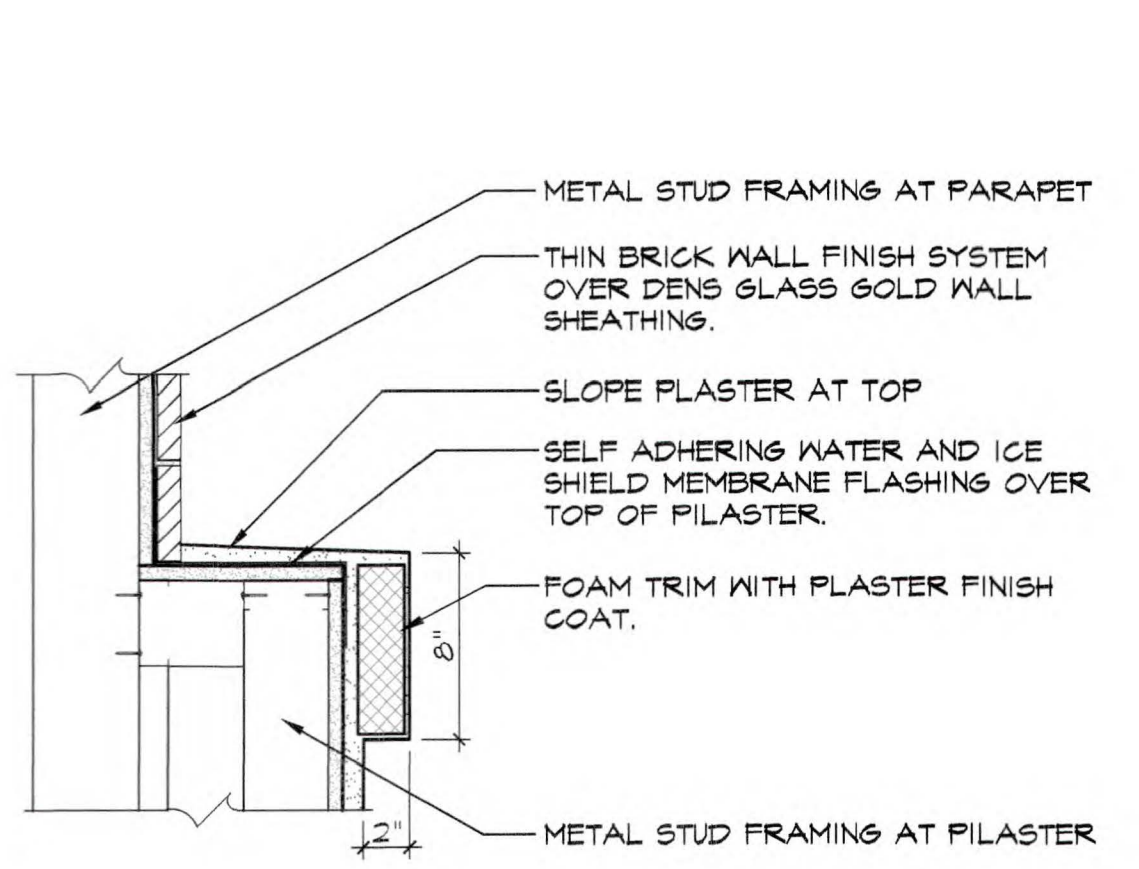
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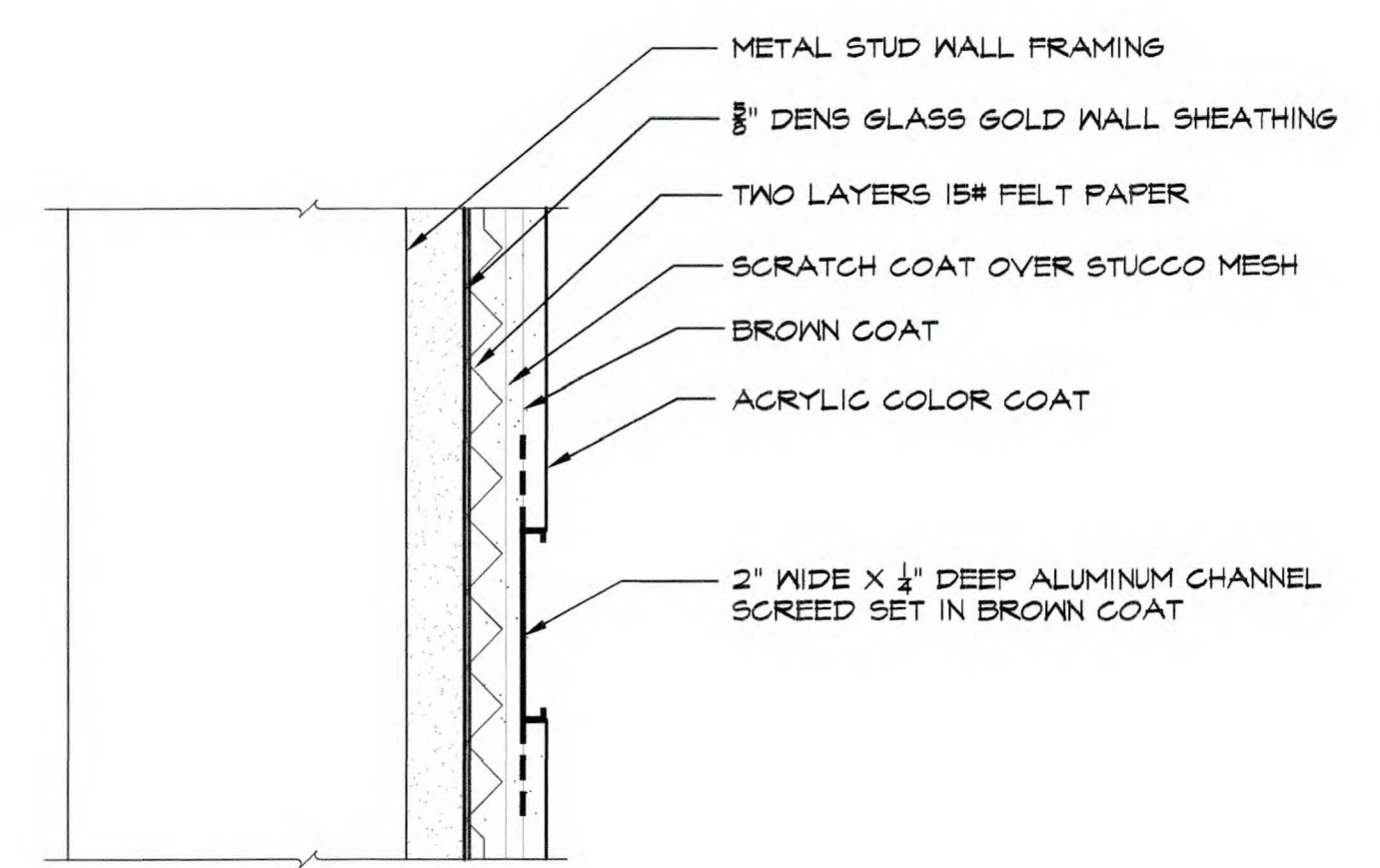
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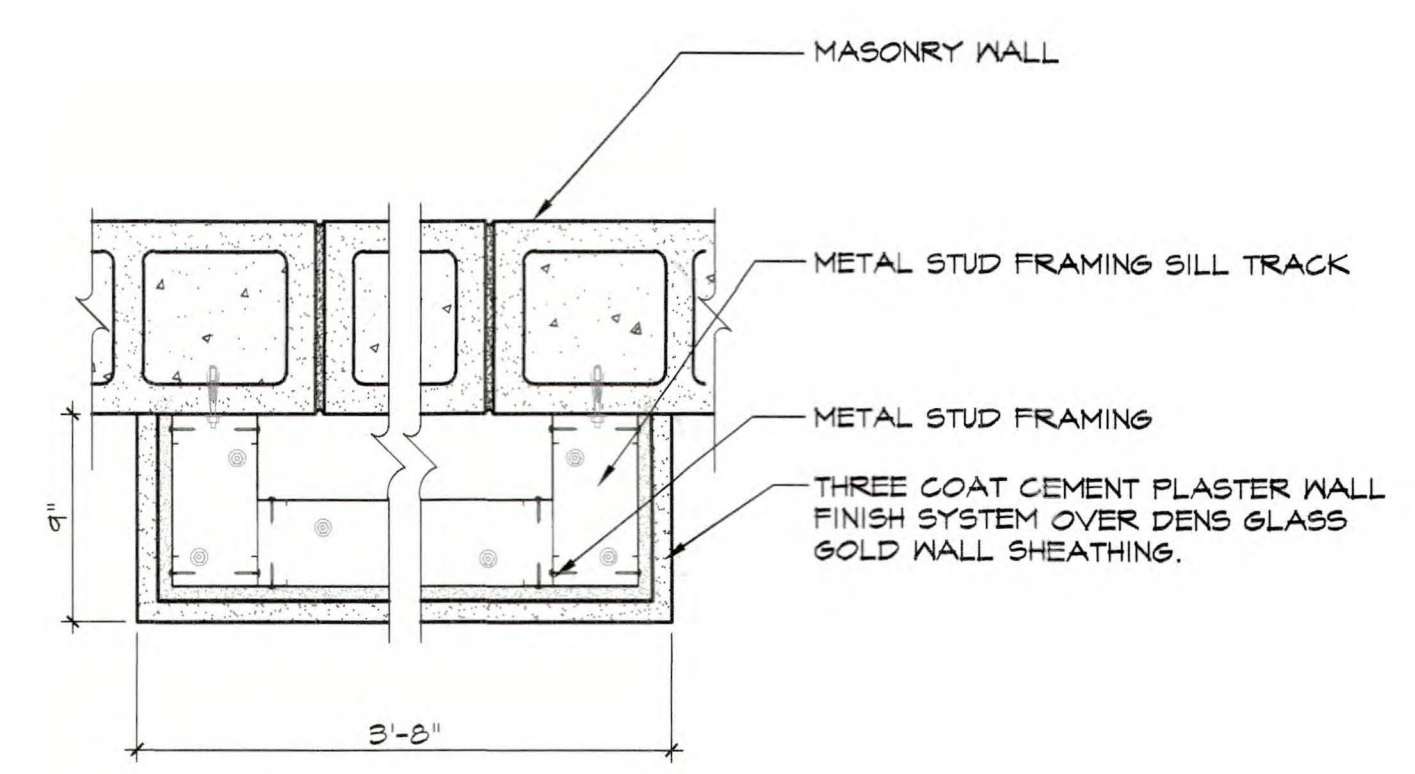
1 TYPICAL PILASTER WALL FEATURE
SCALE: 1/2" = 1'-0"



4 PILASTER WALL FEATURE TOP CAP
SCALE: 1 1/2" = 1'-0"



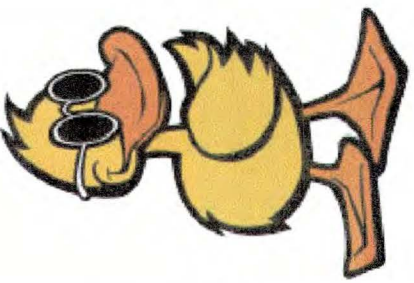
3 PLASTER CHANNEL SCREED REVEAL
HALF SCALE



2 PILASTER WALL FEATURE PLAN
SCALE: 1 1/2" = 1'-0"

NOTE:
ALL EXPOSED CONCRETE TO HAVE SACK FINISH AT FOOTINGS
FOR ARCADE AND PILASTERS (TYPICAL)

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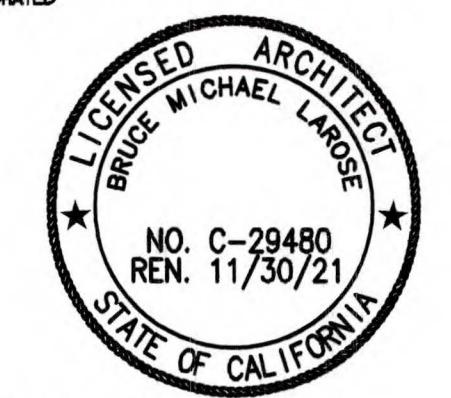
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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

PLASTER ELEVATIONS

DATE: APRIL 2021
CRM PROJECT #: 2038

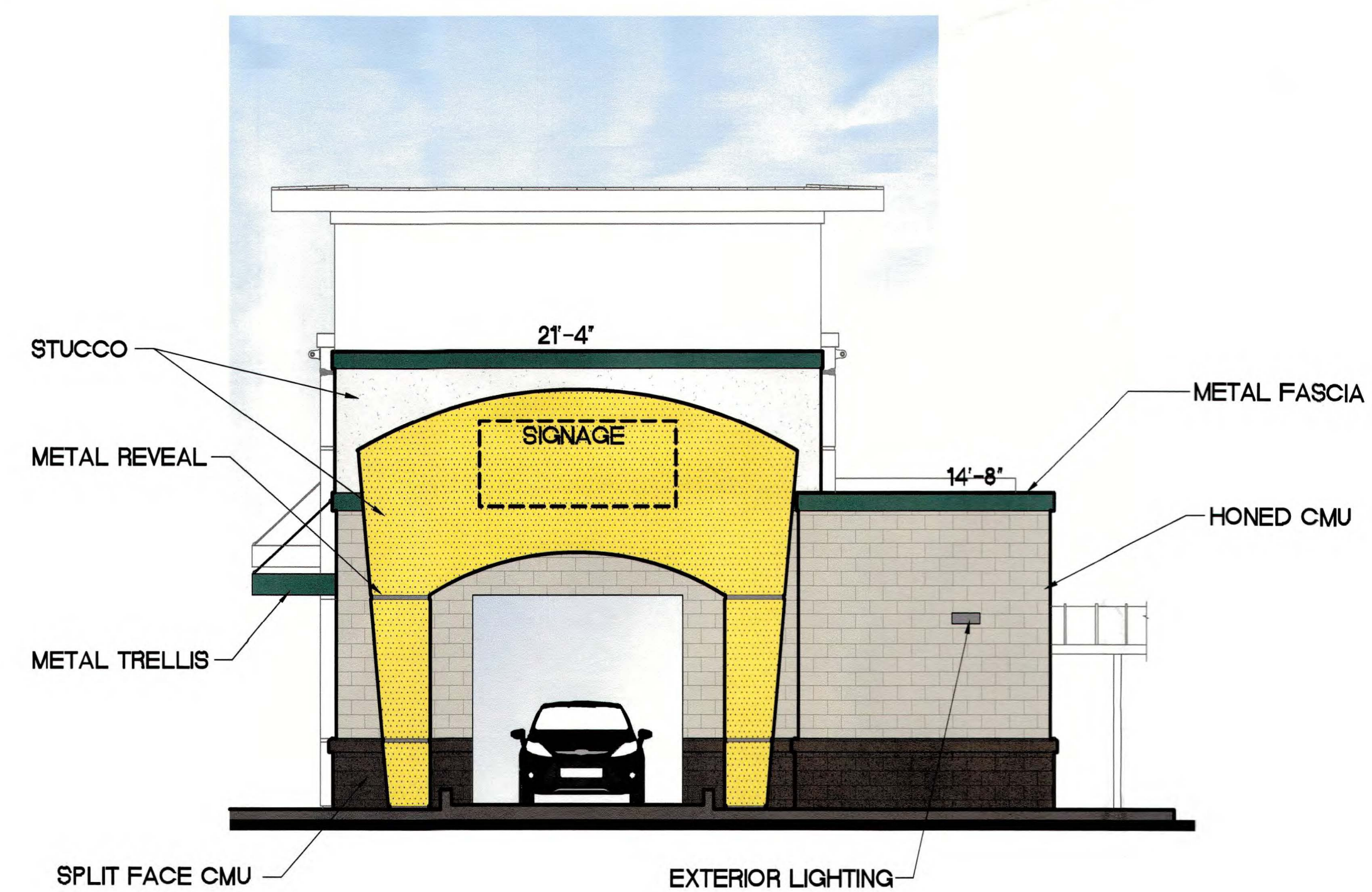
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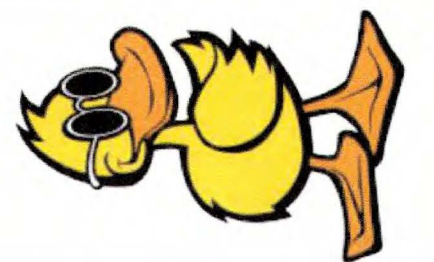
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

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Rocklin, CA 95765 - phone: (916) 451-1500



**Quick Quack
CAR WASH**

REVISIONS

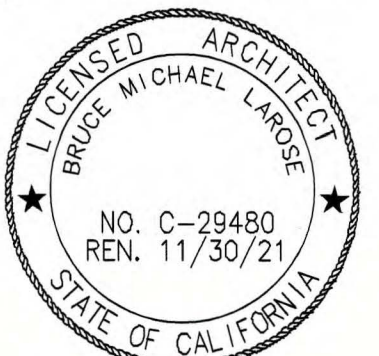
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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

EXTERIOR
ELEVATIONS

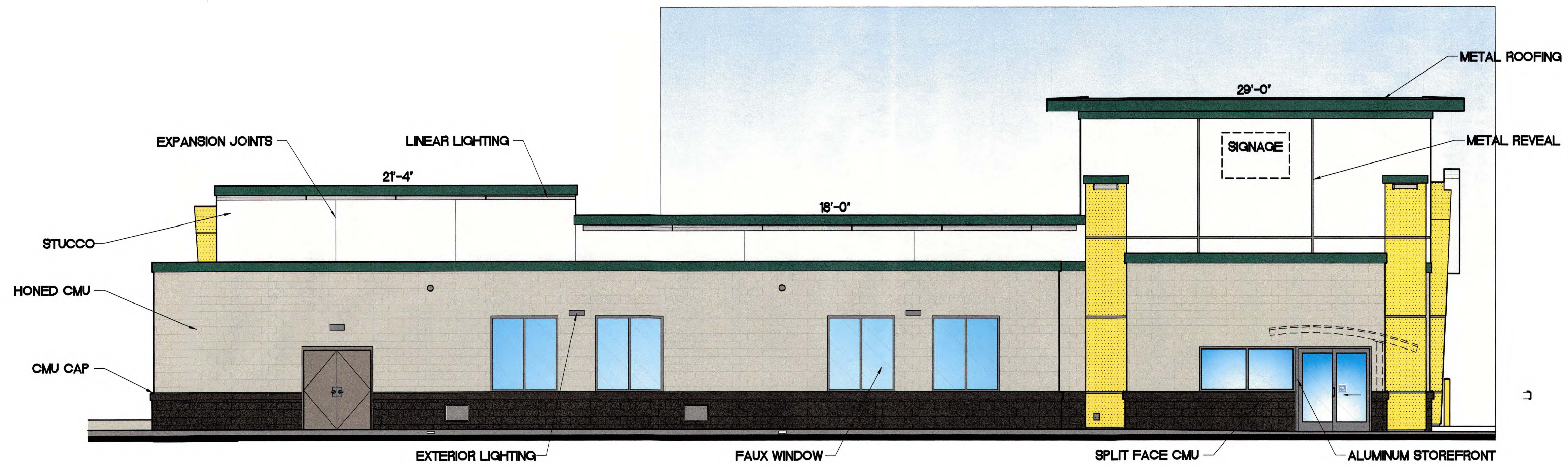
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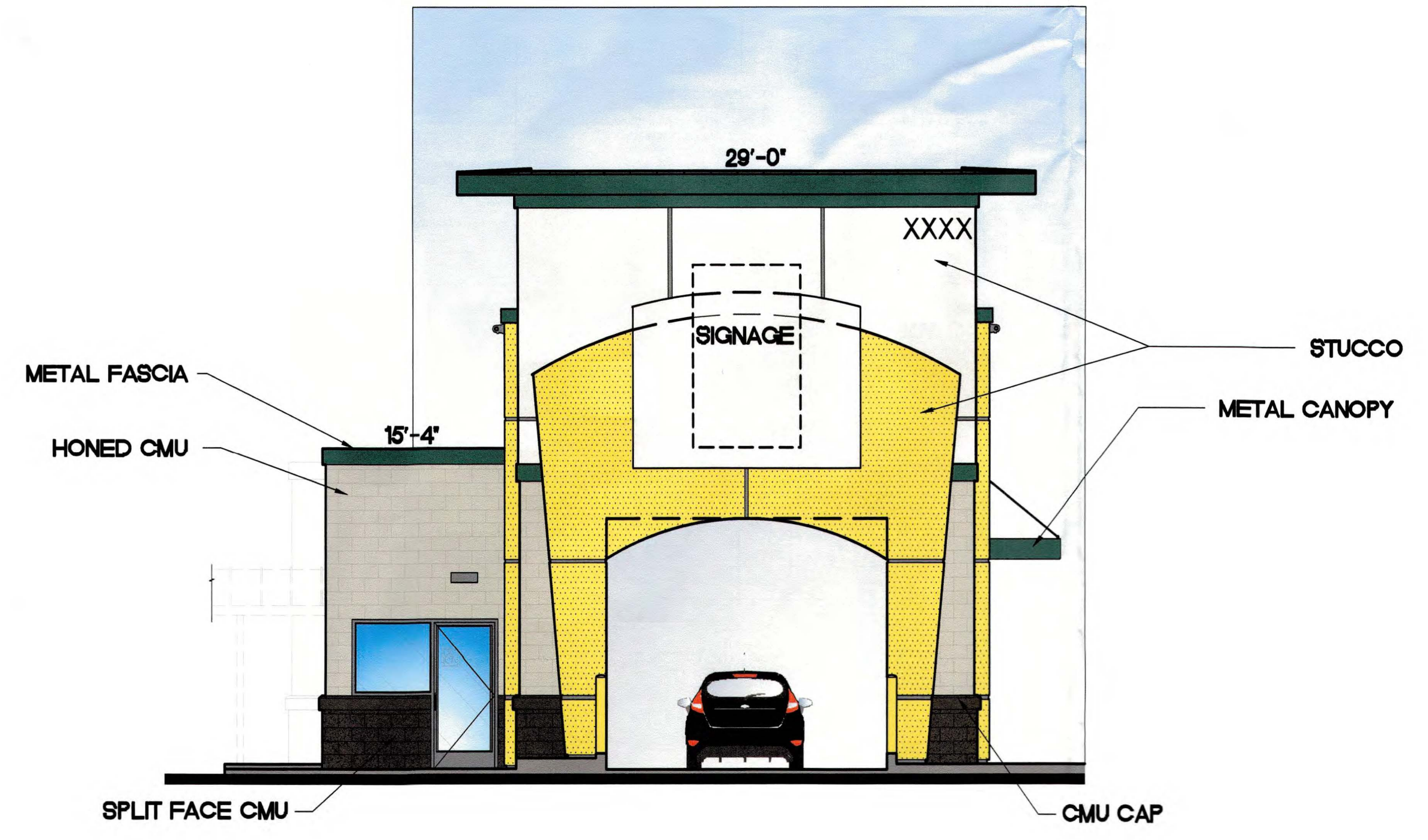


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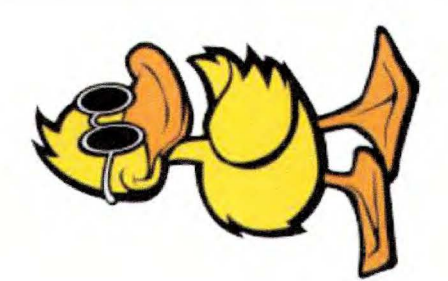
1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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**QUICK QUACK CAR WASH
 STORE #6-073
 GREEN VALLEY ROAD AND
 SOPHIA PARKWAY
 EL DORADO HILLS, CA**

**EXTERIOR
 ELEVATIONS**

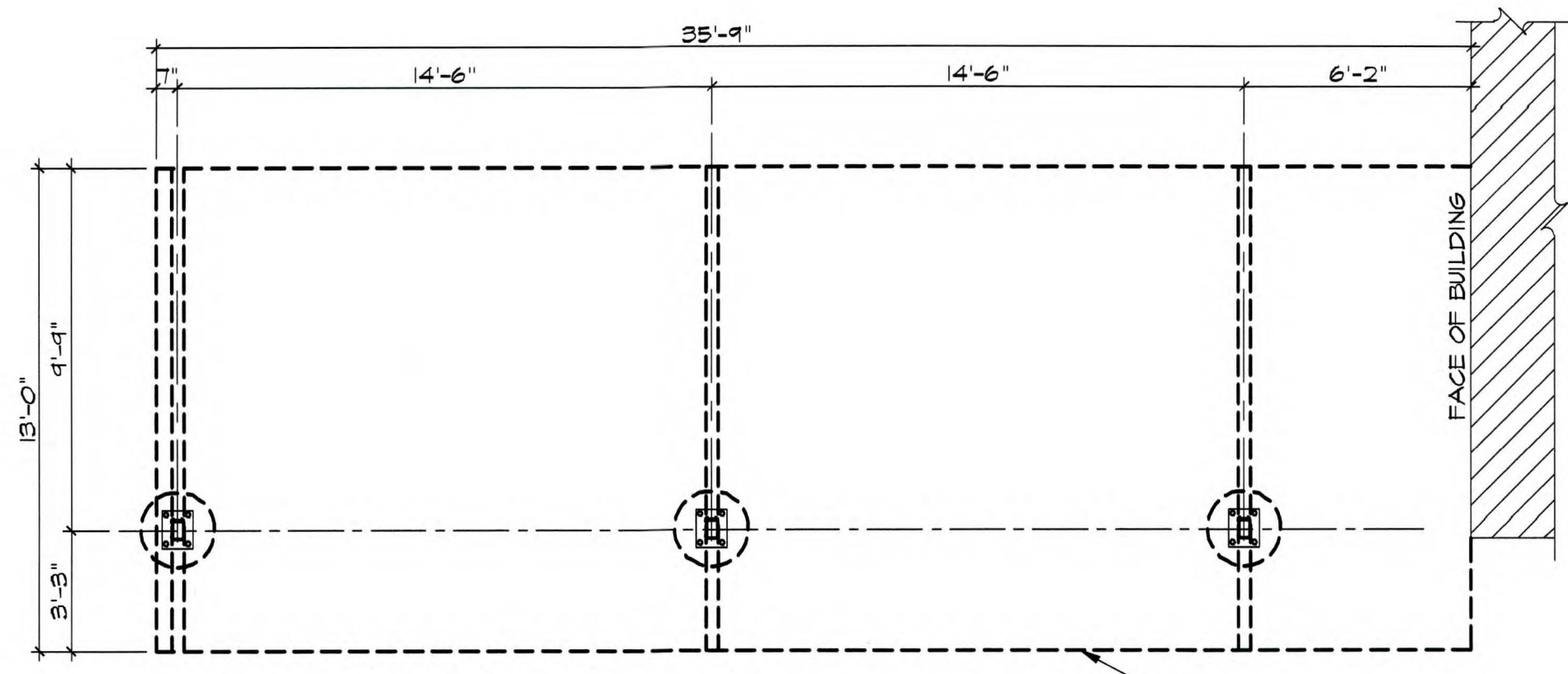
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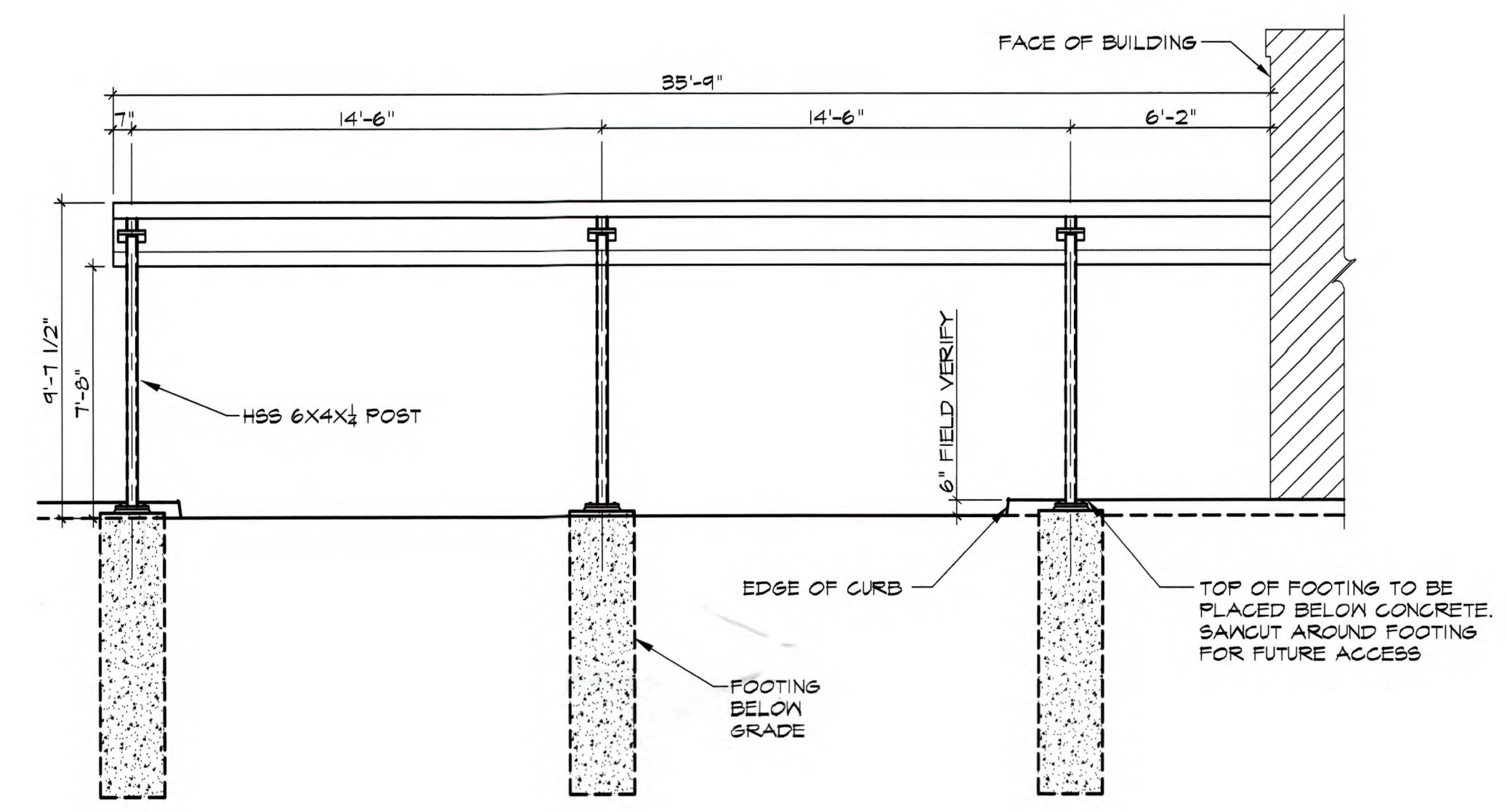
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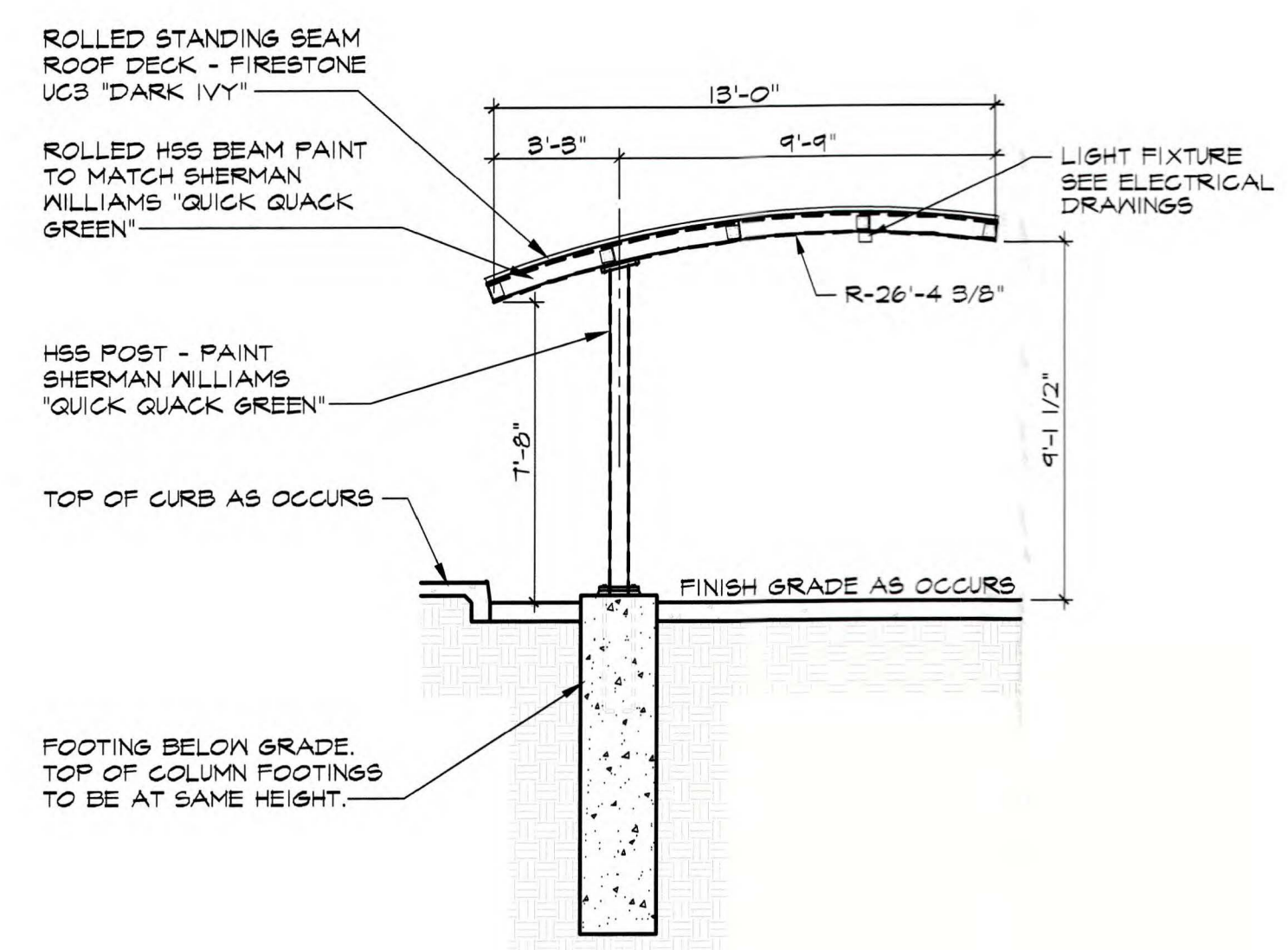


1 PAY STATION CANOPY PLAN
SCALE: 1/4" = 1'-0"

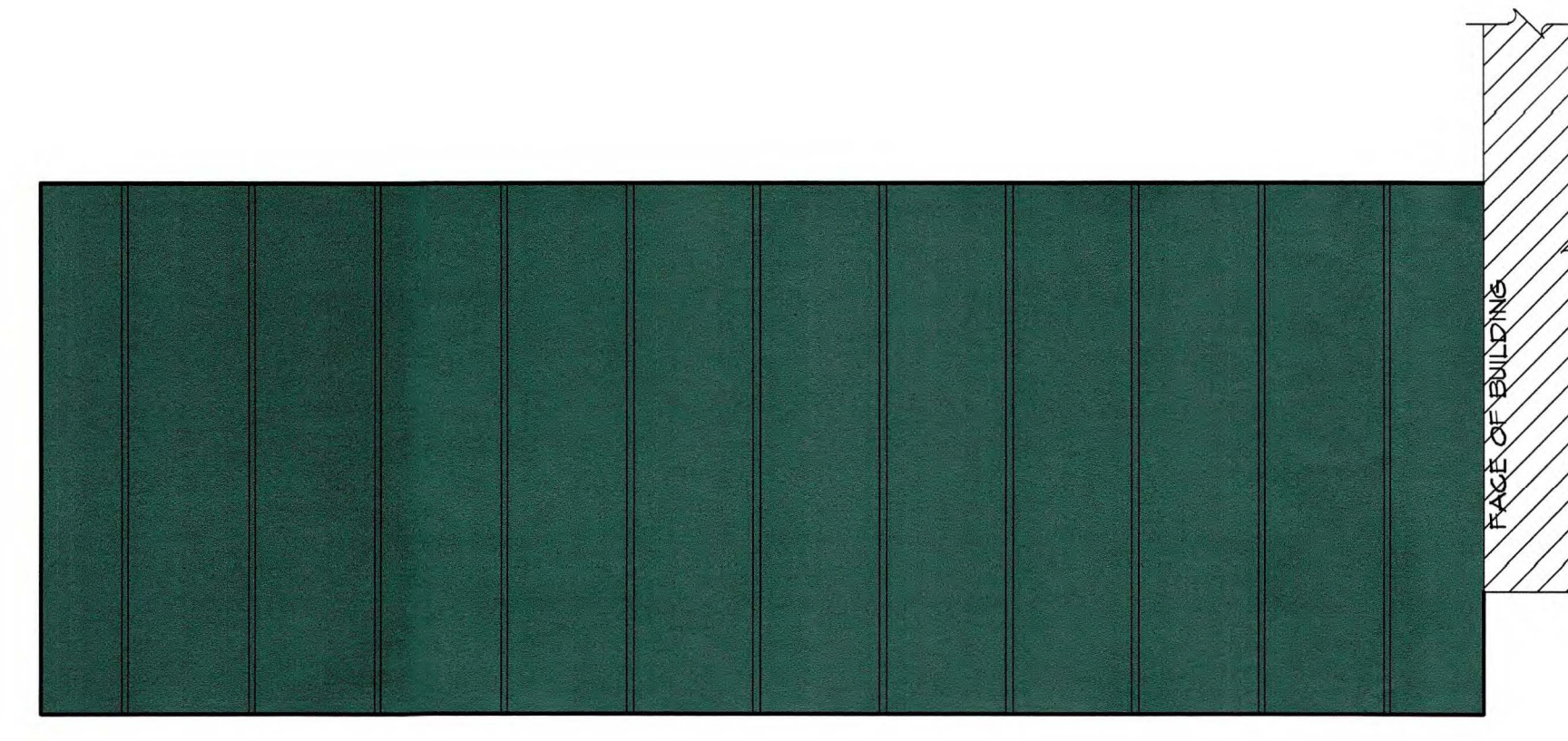
ROLLED STANDING SEAM
ROOF DECK - FIRESTONE
UG3 "DARK IVY"



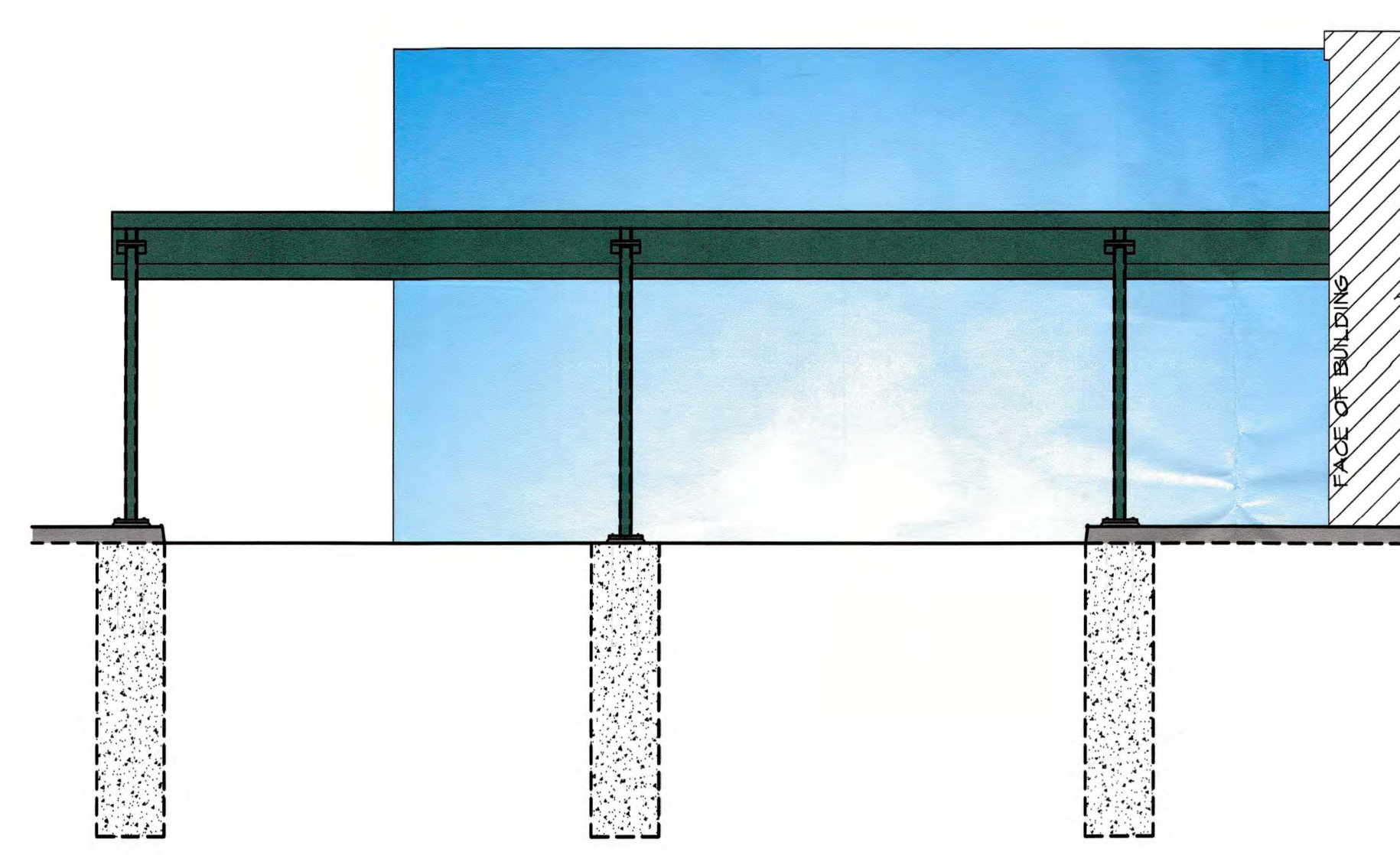
2 PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



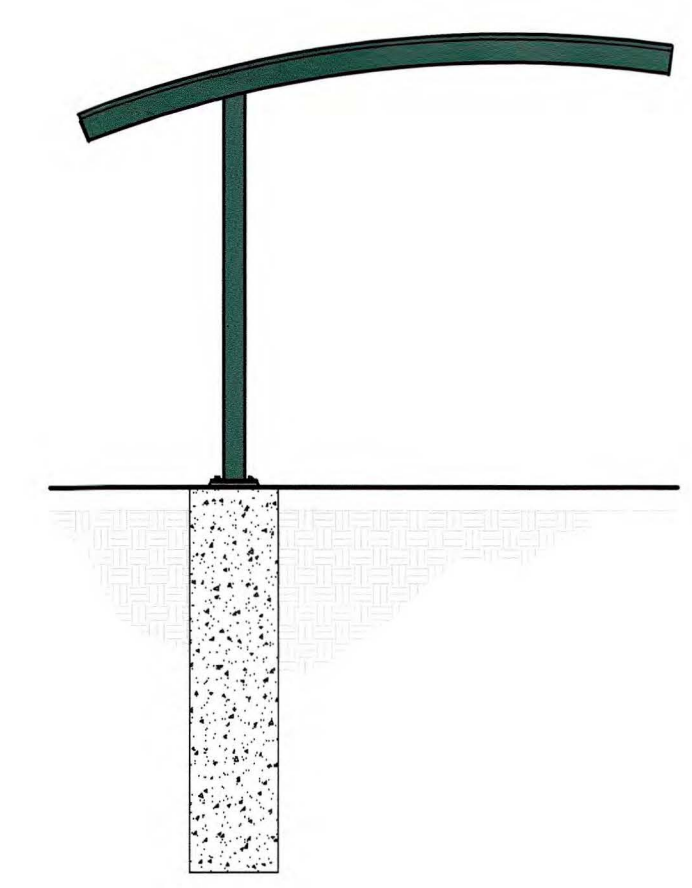
A-A TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



3 PAY STATION COLOR PLAN VIEW
SCALE: 1/4" = 1'-0"

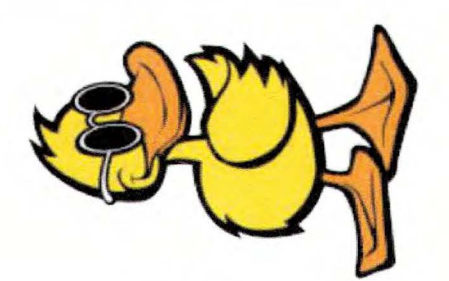


4 PAY STATION CANOPY COLOR ELEVATION
SCALE: 1/4" = 1'-0"



5 PROPOSED CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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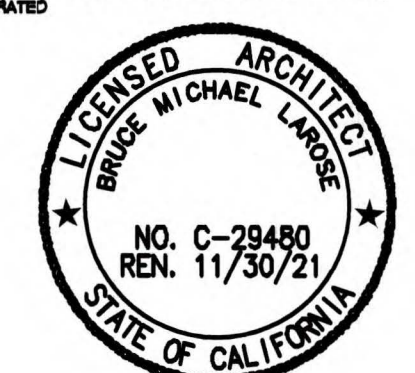
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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
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EL DORADO HILLS, CA

PAY CANOPY

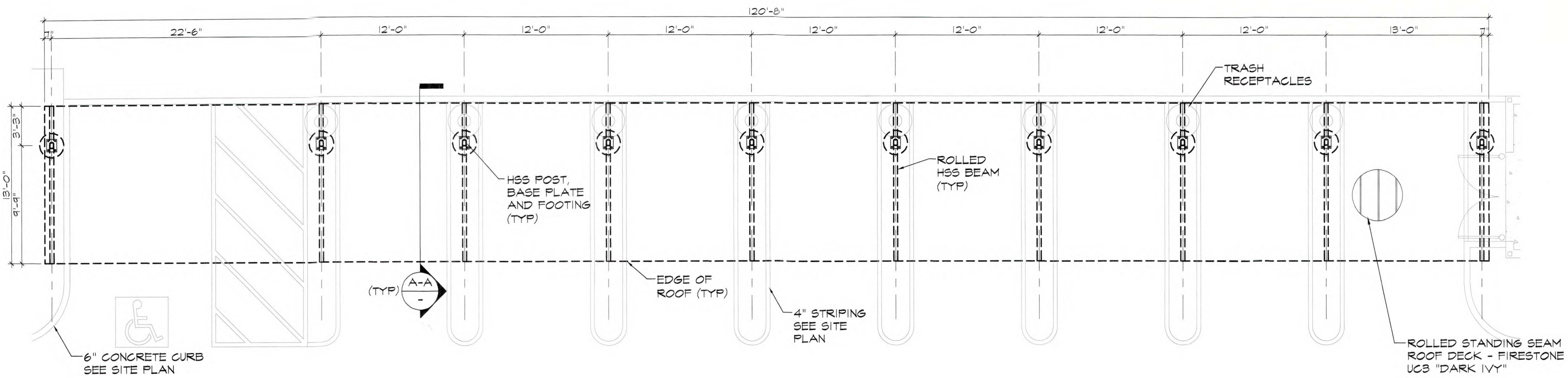
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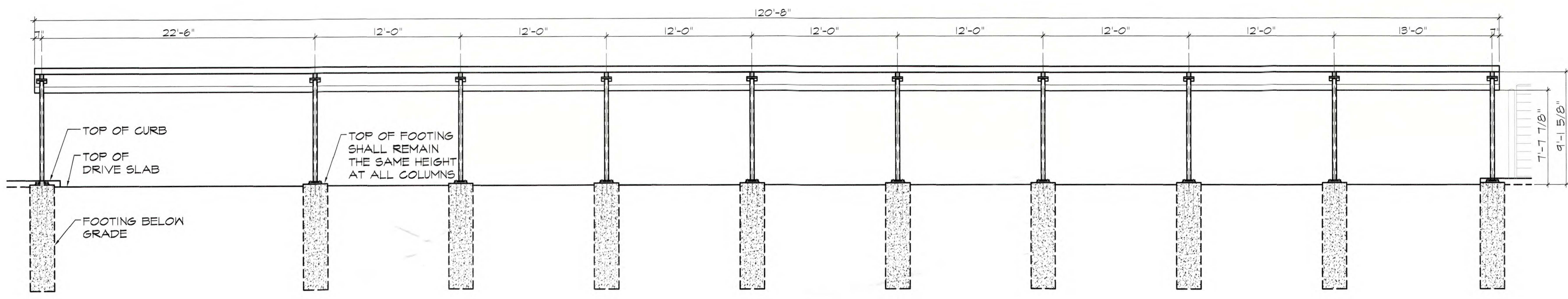


PLANNING DOCUMENTS

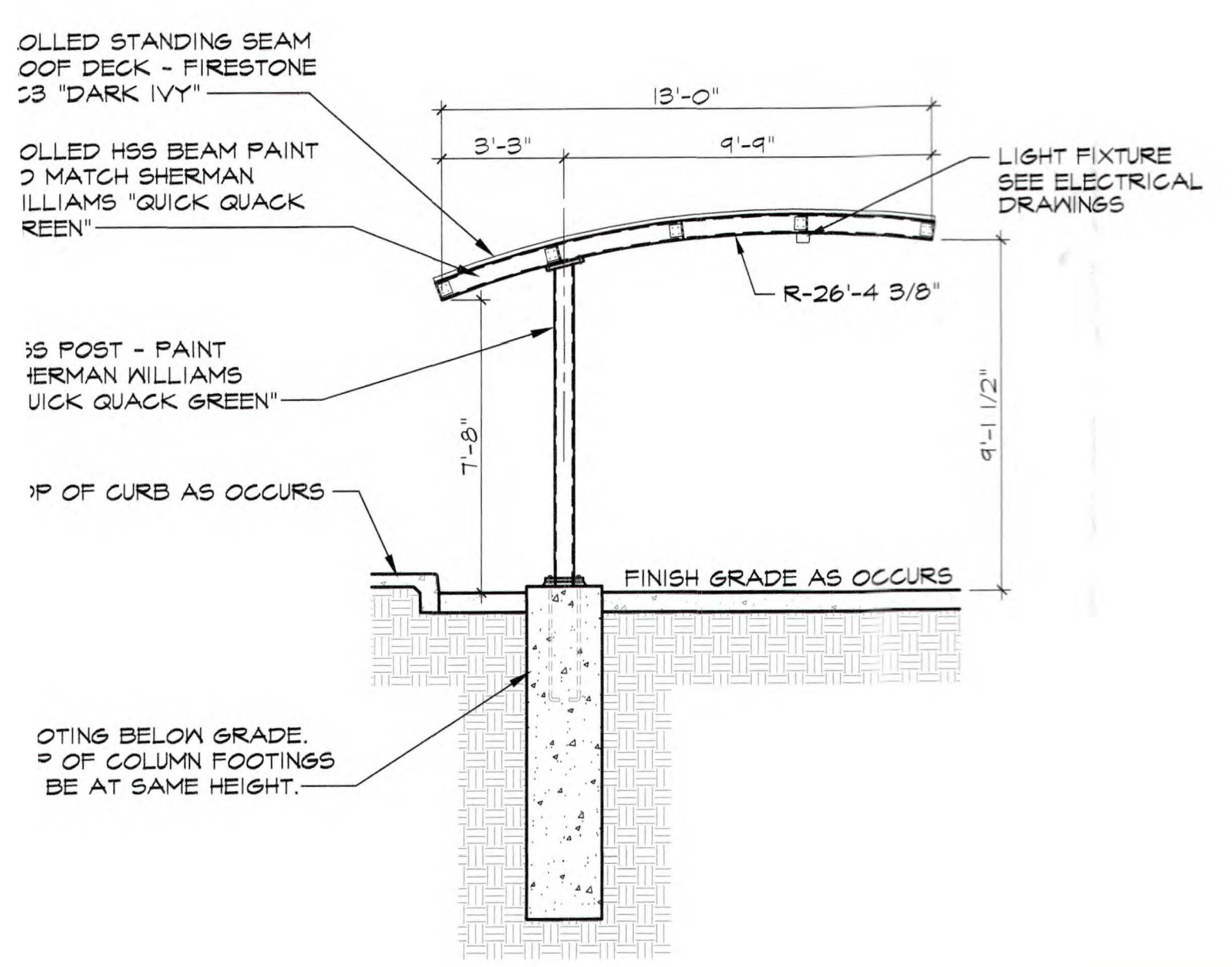
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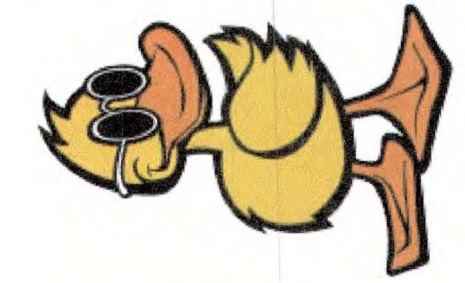
1 SOUTH VACUUM CANOPY PLAN
SCALE: 3/16" = 1'-0"



2 SOUTH VACUUM CANOPY ELEVATION
SCALE: 3/16" = 1'-0"



A-A TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
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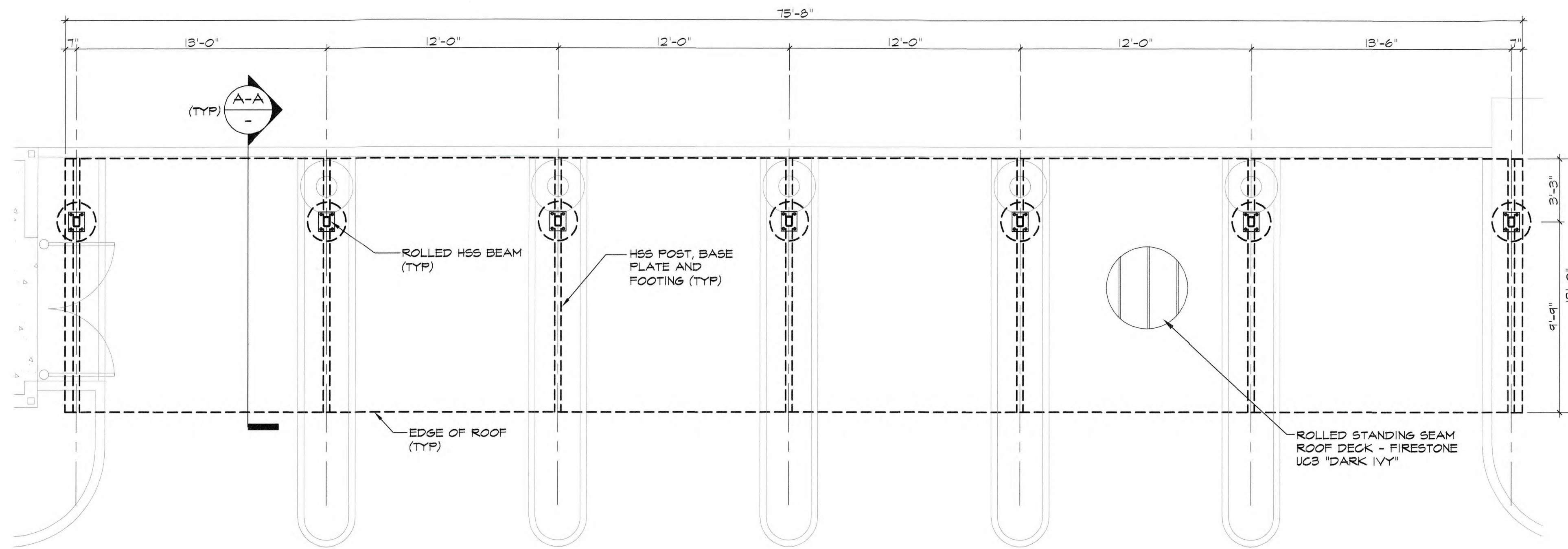
SOUTH VACUUM CANOPY

DATE: APRIL 2021
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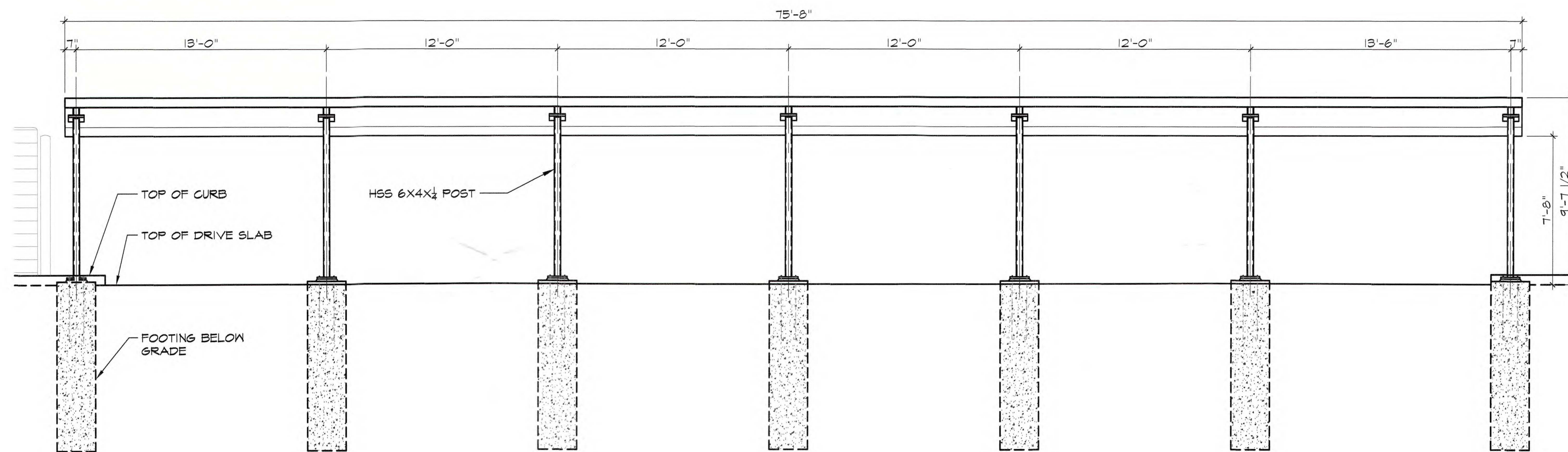
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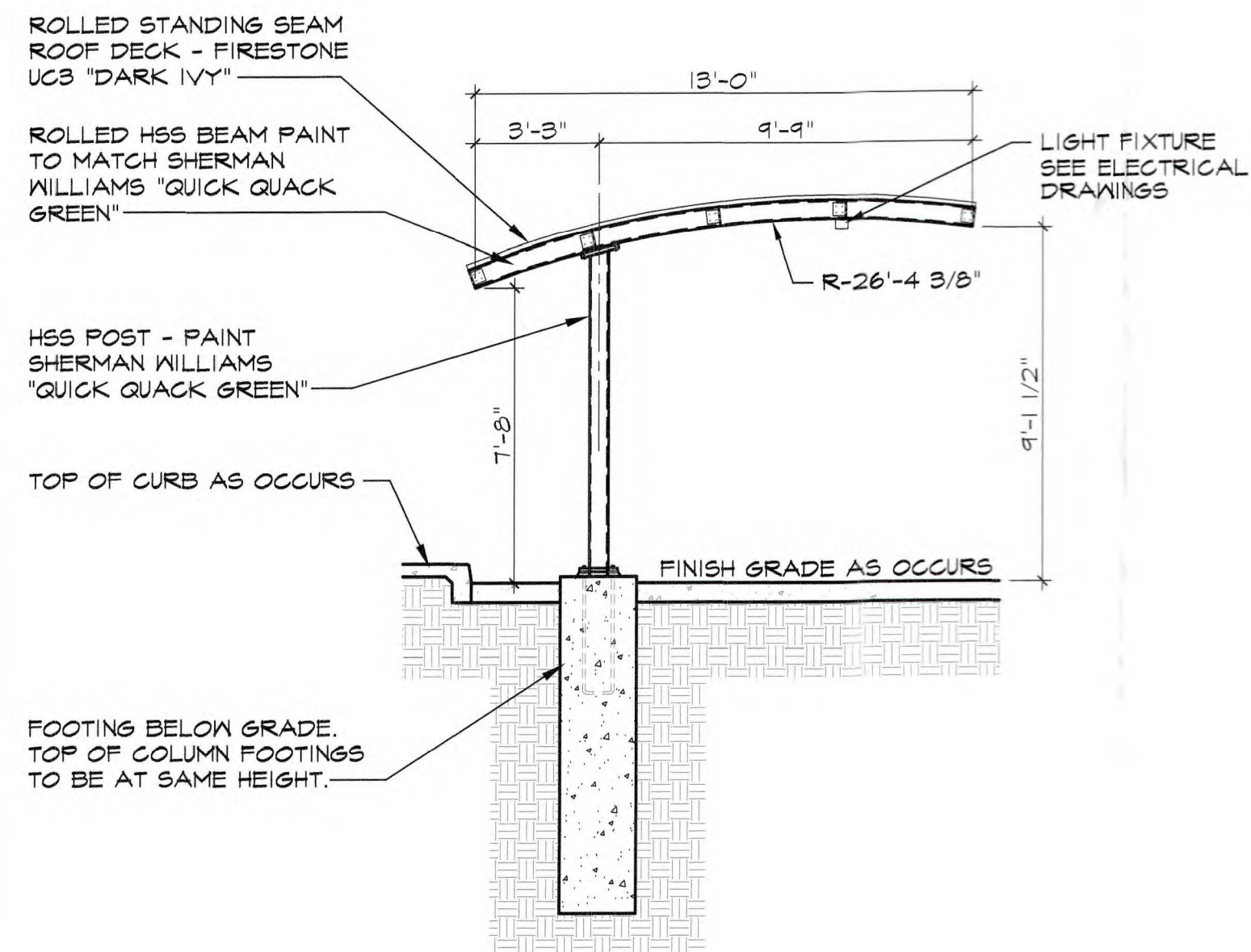
PLANNING DOCUMENTS



1 NORTH VACUUM CANOPY PLAN
SCALE: 1/4" = 1'-0"

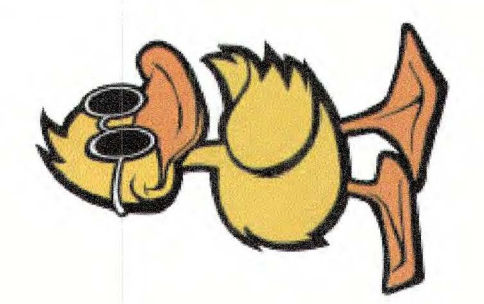


2 NORTH VACUUM CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



A-A TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"

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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

NORTH VACUUM CANOPY

DATE: APRIL 2021
CRM PROJECT #: 2038

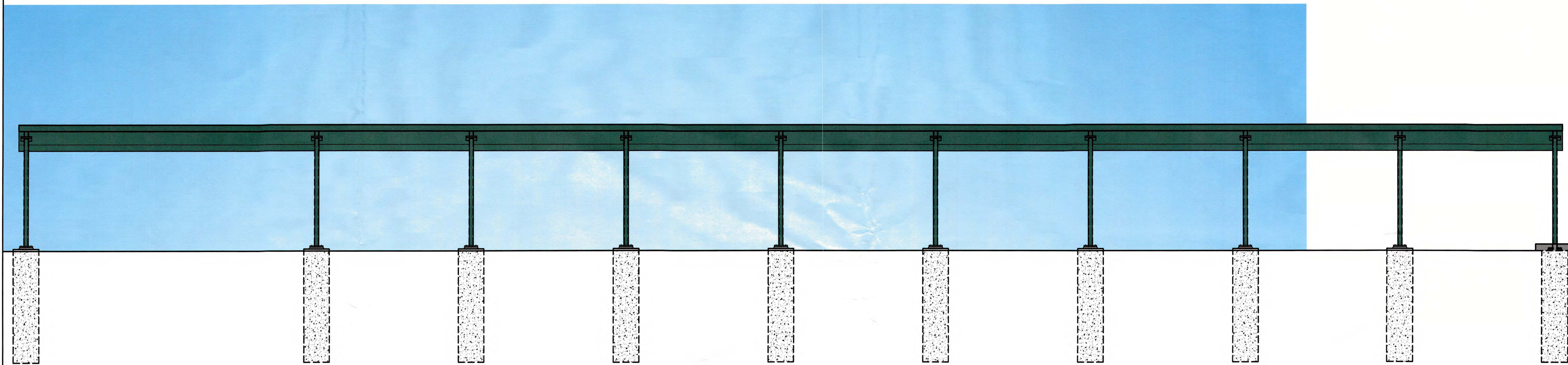
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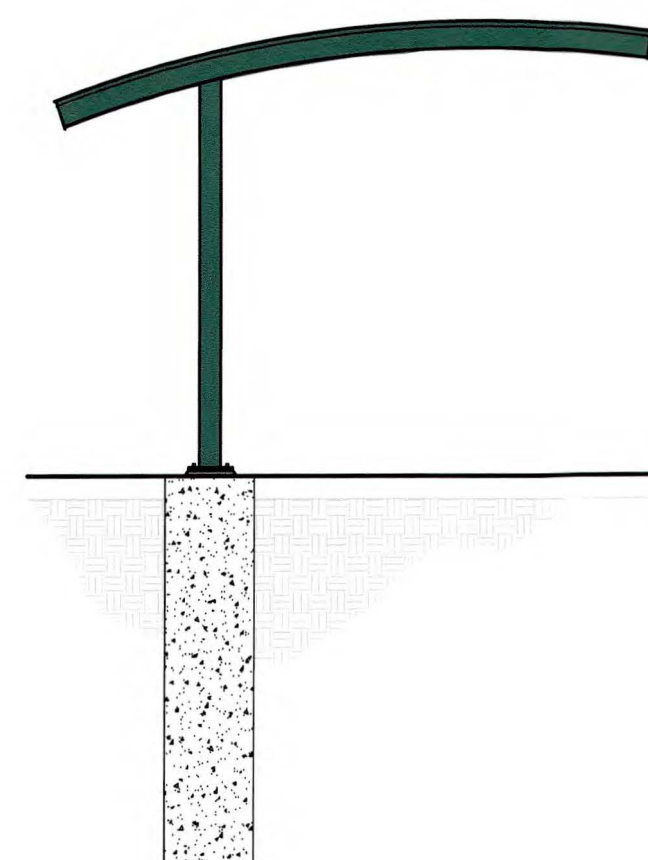
PLANNING DOCUMENTS



1
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TYPICAL VACUUM CANOPY COLORED PLAN
SCALE: 1/4" = 1'-0"



2
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TYPICAL VACUUM CANOPY COLORED ELEVATION
SCALE: 1/4" = 1'-0"



A-A
-
TYPICAL VACUUM CANOPY COLORED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS

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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

COLORED VACUUM CANOPY

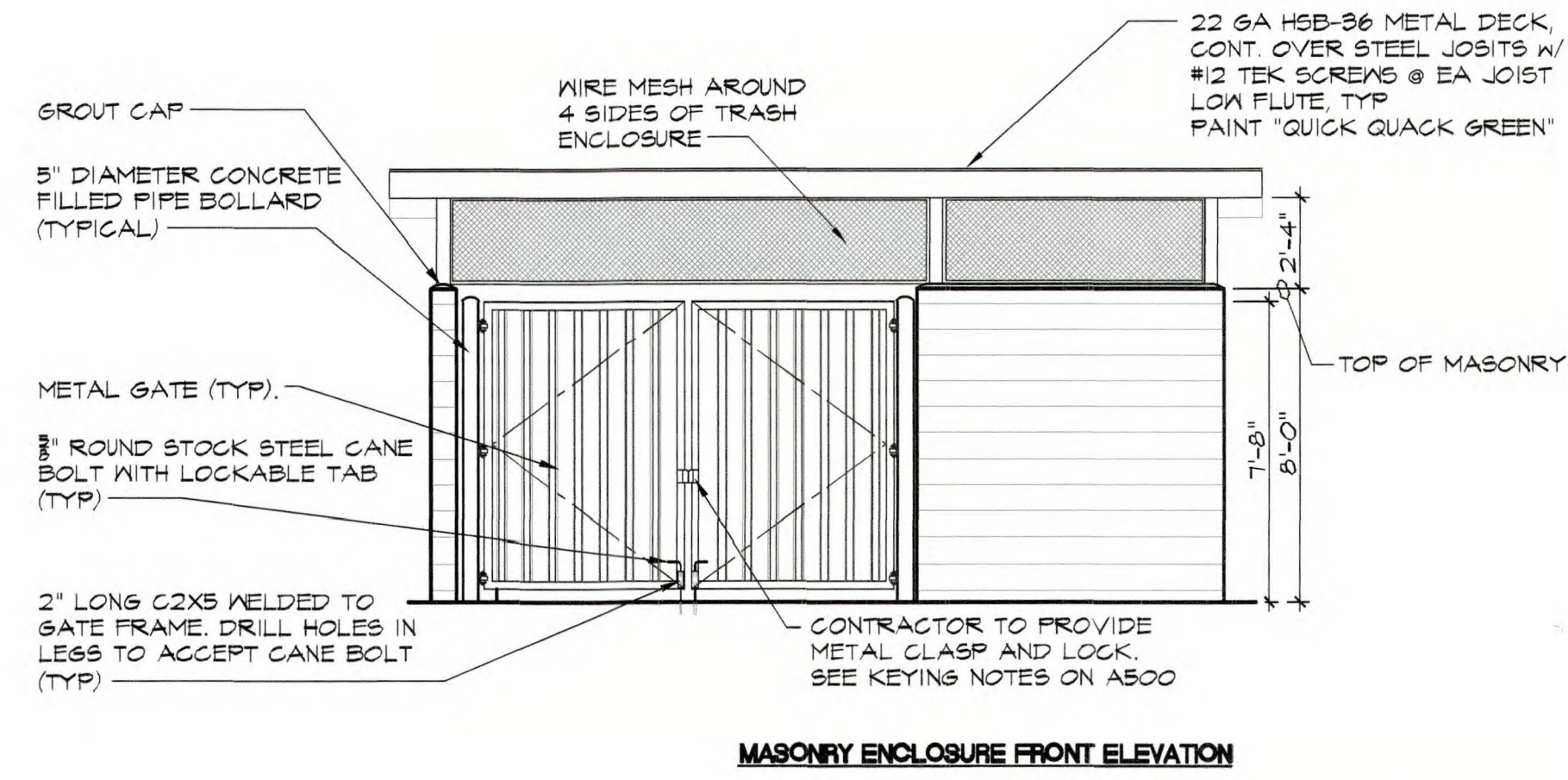
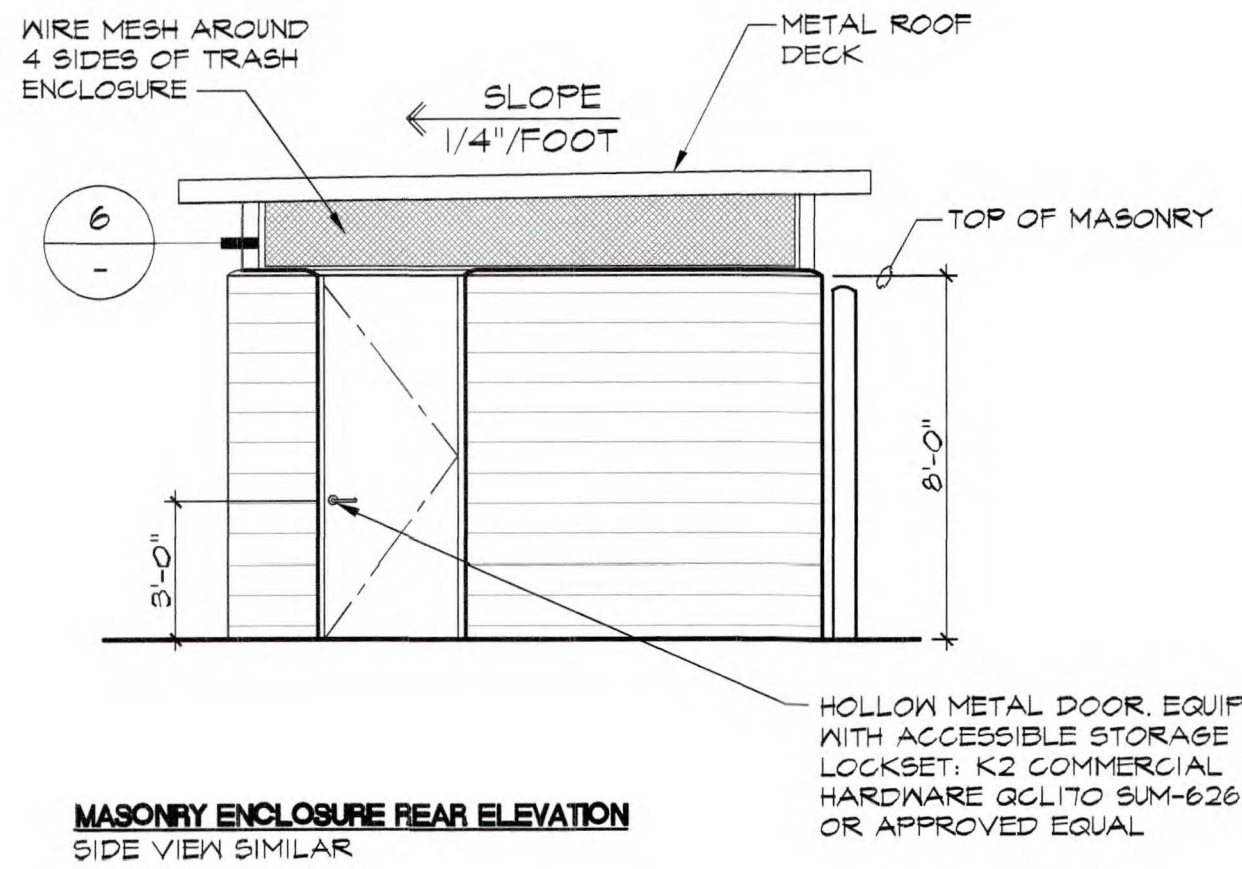
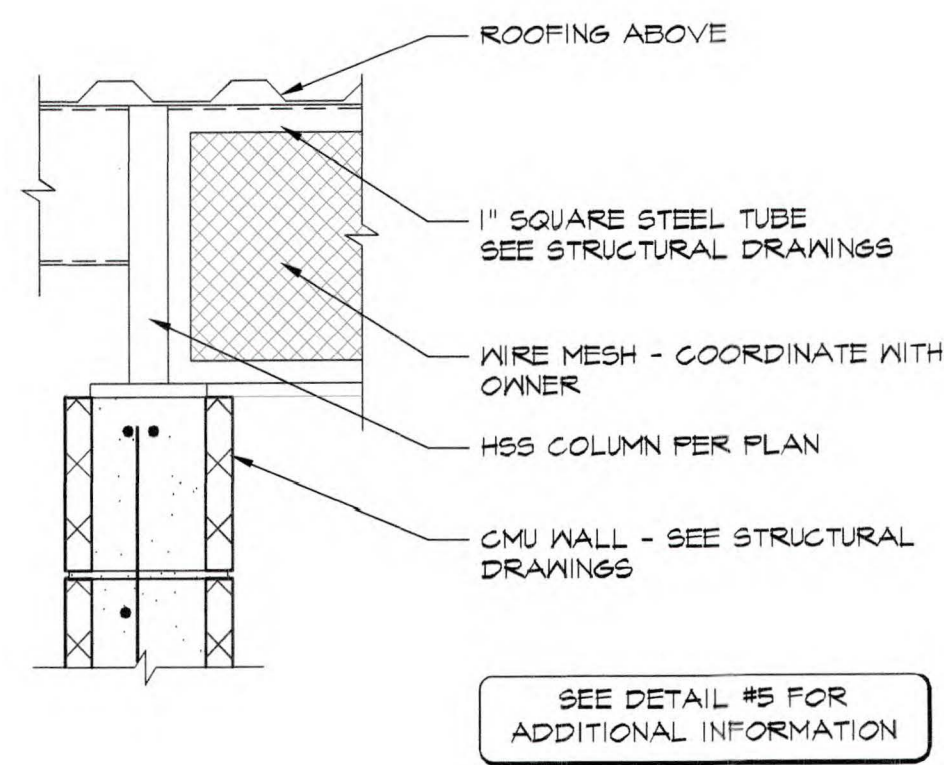
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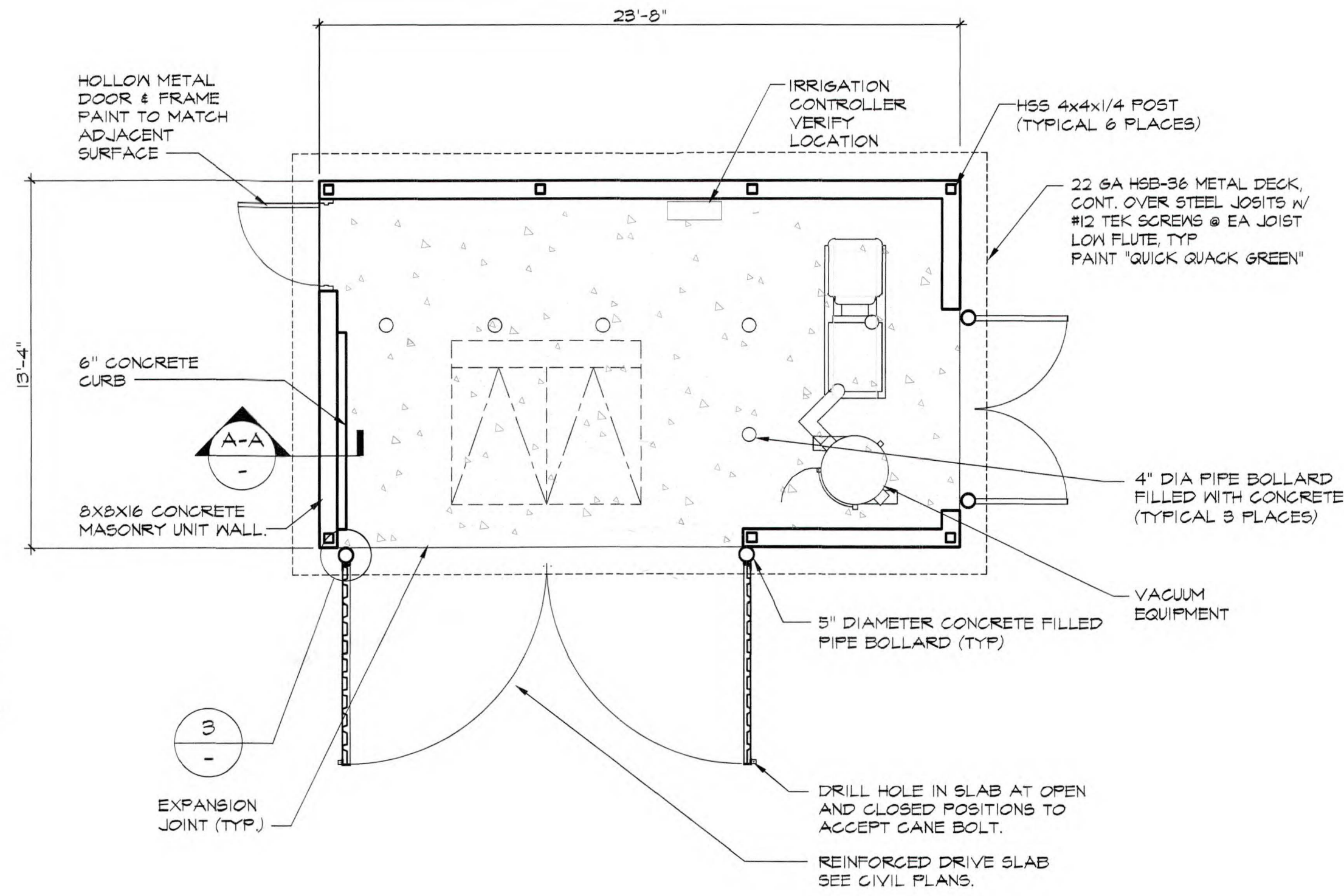


PLANNING DOCUMENTS

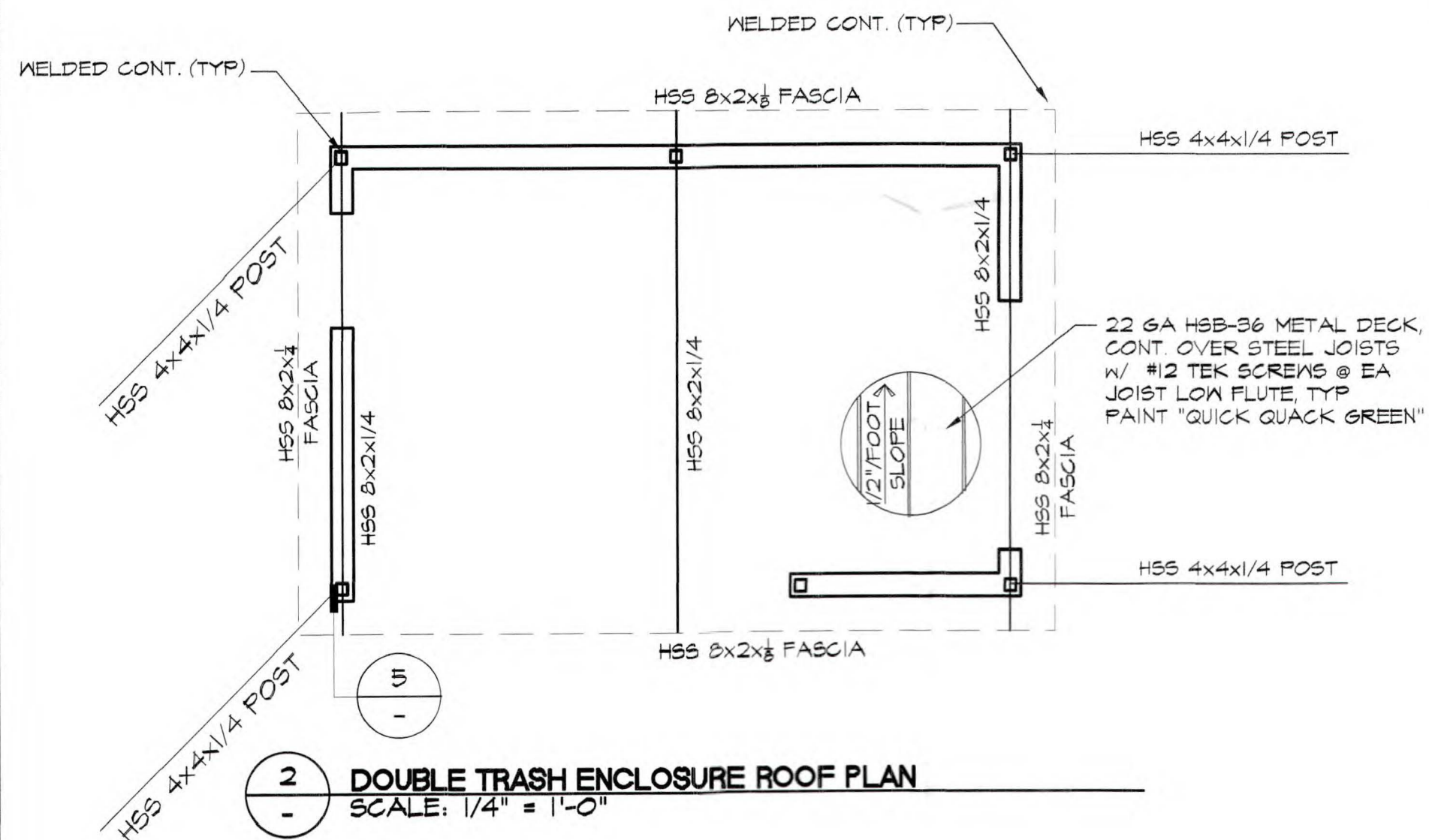
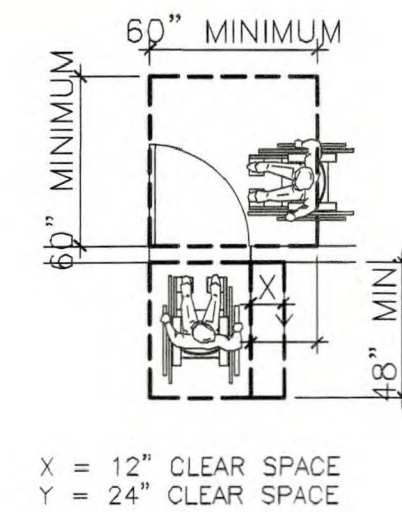
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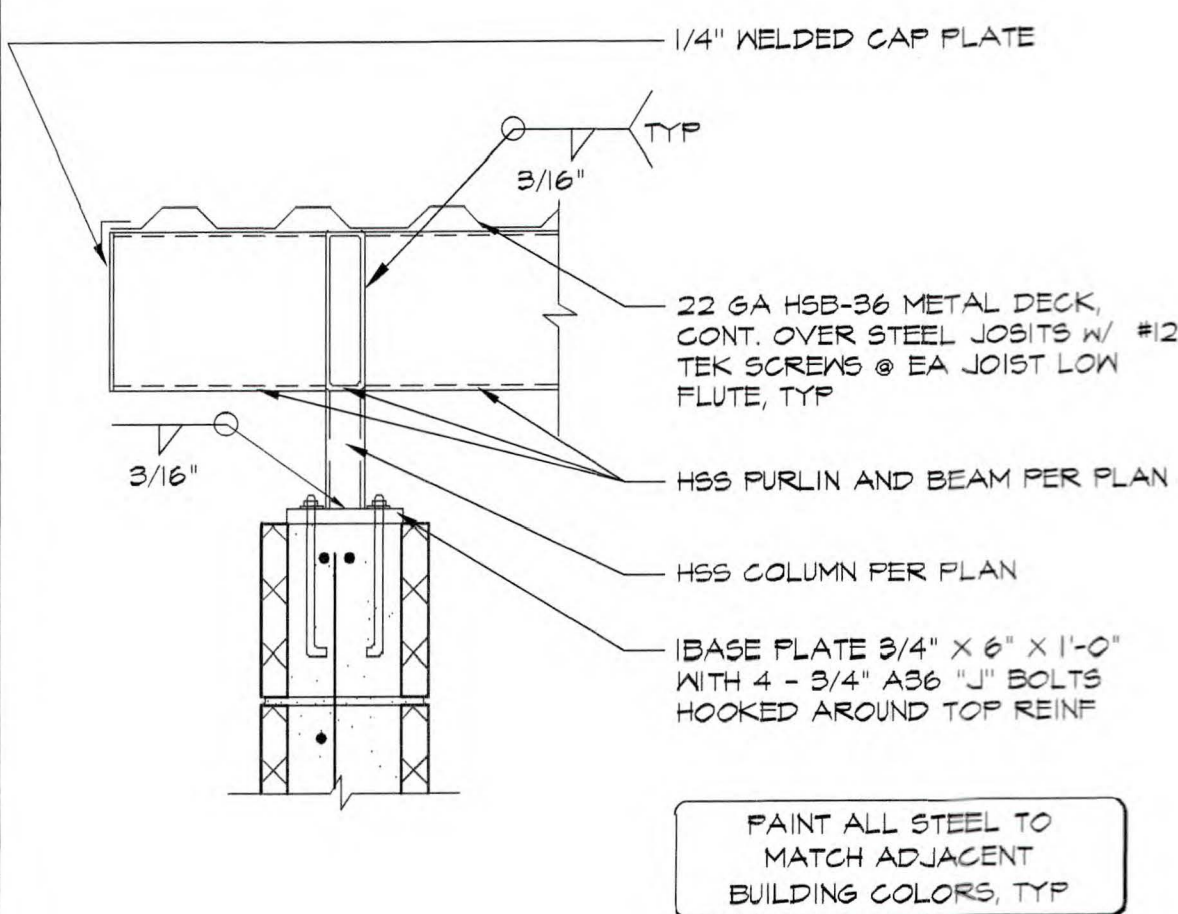
7 MESH DETAIL
SCALE: 1 1/2" = 1'-0"



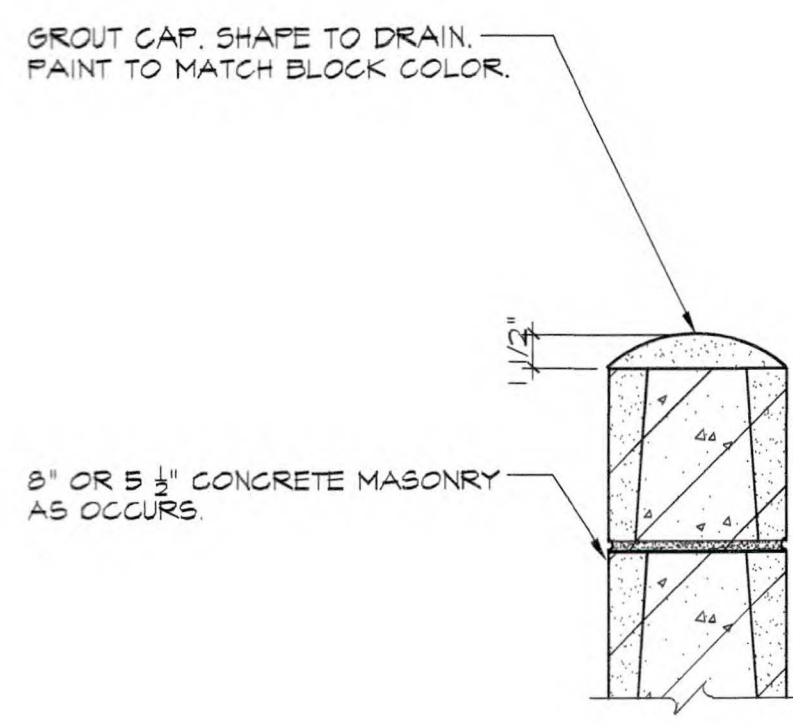
- ACCESS NOTES**
- ACCESS GATE SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE CENTERED BETWEEN 34" AND 44" ABOVE FLOOR.
 - THE OPENING FORCE FOR ACCESS GATE SHALL NOT EXCEED 8 LBS.
 - IF THE ACCESS GATE HAS A CLOSER, THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION 90 DEGREES THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 3 SECONDS MINIMUM.
 - ACCESS GATE LANDING SHALL HAVE A MAXIMUM SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
 - BOTTOM 10" OF ACCESS SHALL BE OF A SMOOTH SURFACE.
 - PROVIDE LOCK FOR ACCESS GATE AS REQUESTED BY OWNER.
 - PROVIDE CLEARANCES FOR ACCESS GATE AS SHOWN BELOW.
 - OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST PER 2016 CBC.
 - SWINGING DOOR AND GATE SURFACES WITHIN 10' OF FLOOR OR GRUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING FULL WIDTH OF THE DOOR OR GATE.



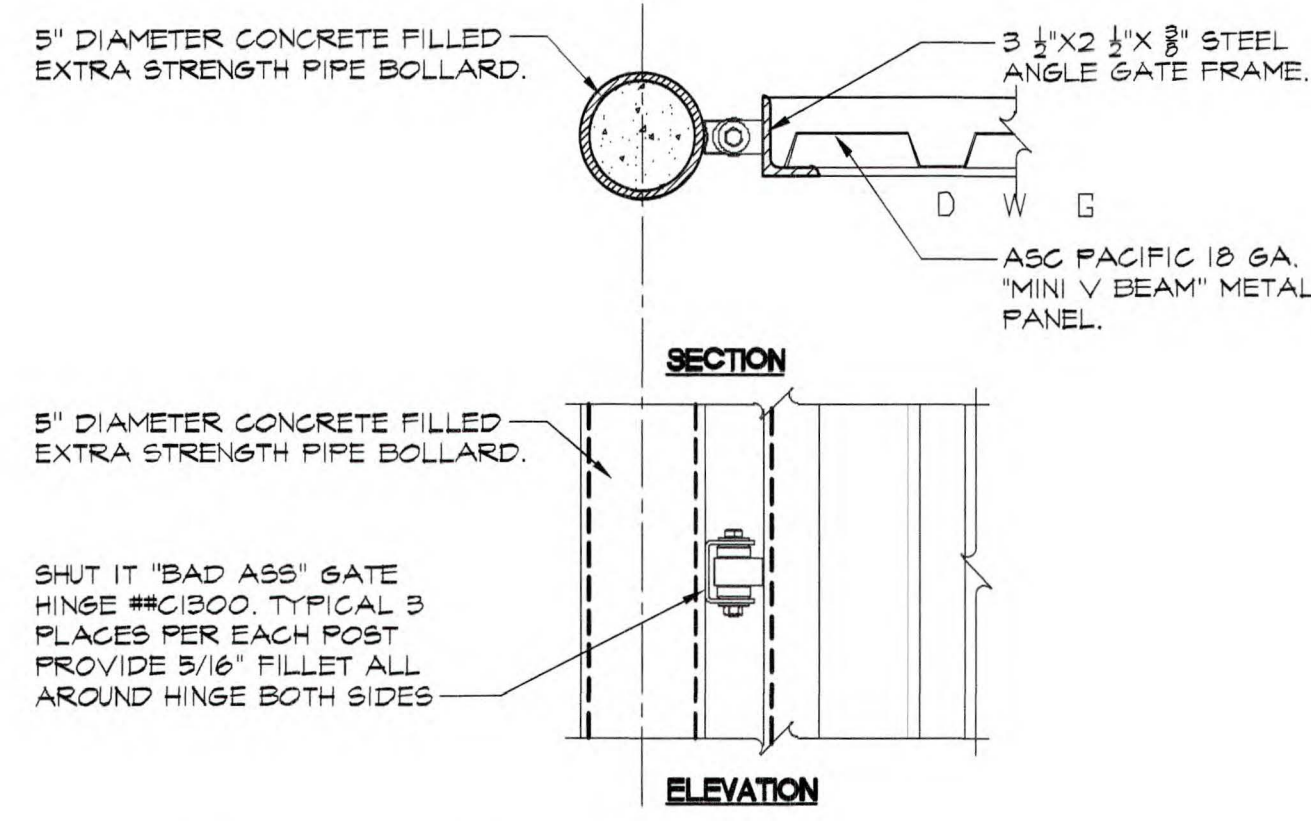
1 MASONRY ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"
SEE DRAWING S1.4 FOR STRUCTURAL ITEMS



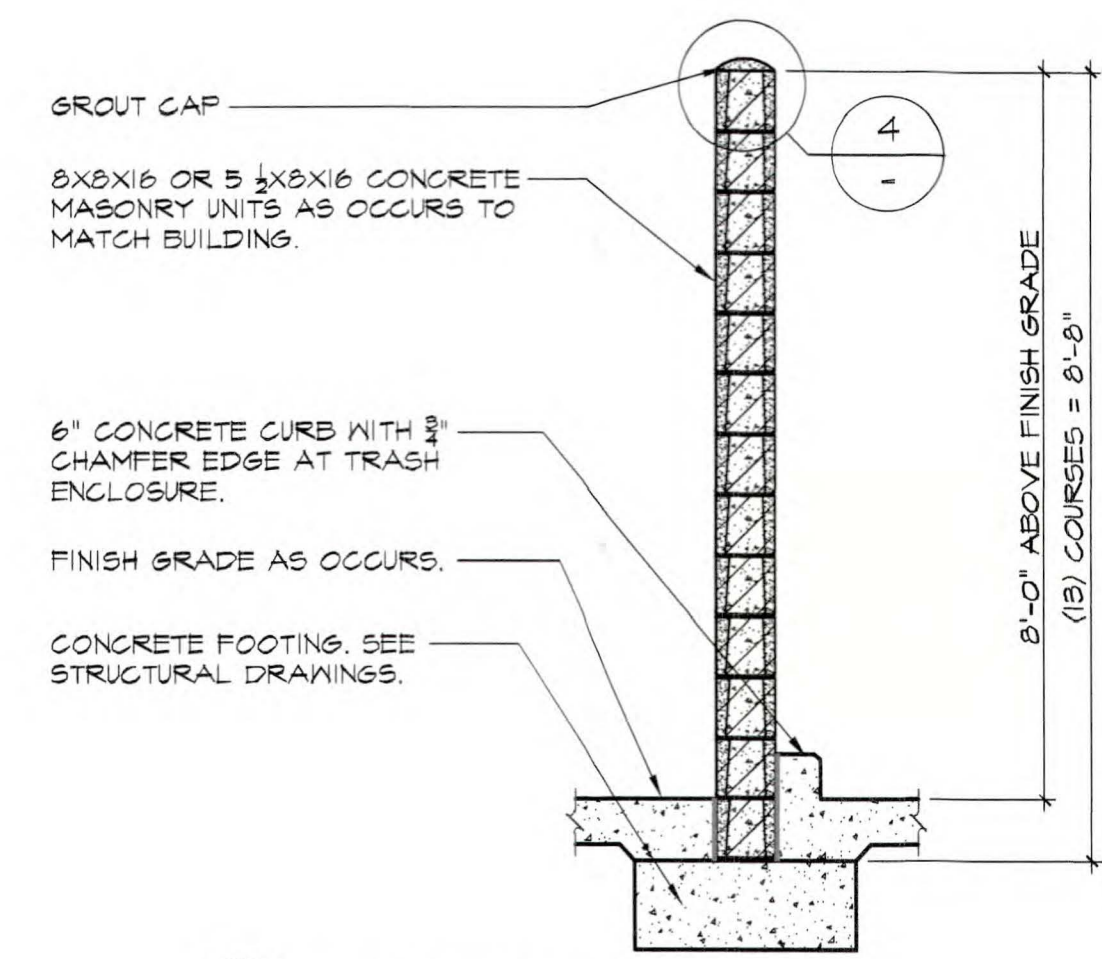
5 SLEEVE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



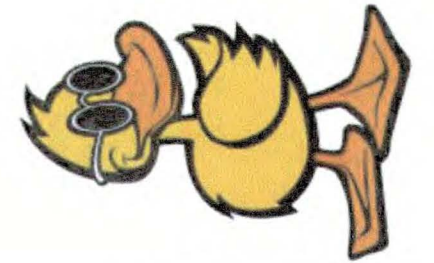
4 WALL CAP DETAIL
SCALE: 1 1/2" = 1'-0"



3 GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



WALL SECTION
SCALE: 1/2" = 1'-0"



Quick Quack
CAR WASH

REVISIONS

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QUICK QUACK CAR WASH
STORE #6-073
GREEN VALLEY ROAD AND
SOPHIA PARKWAY
EL DORADO HILLS, CA

SITE ELEMENTS

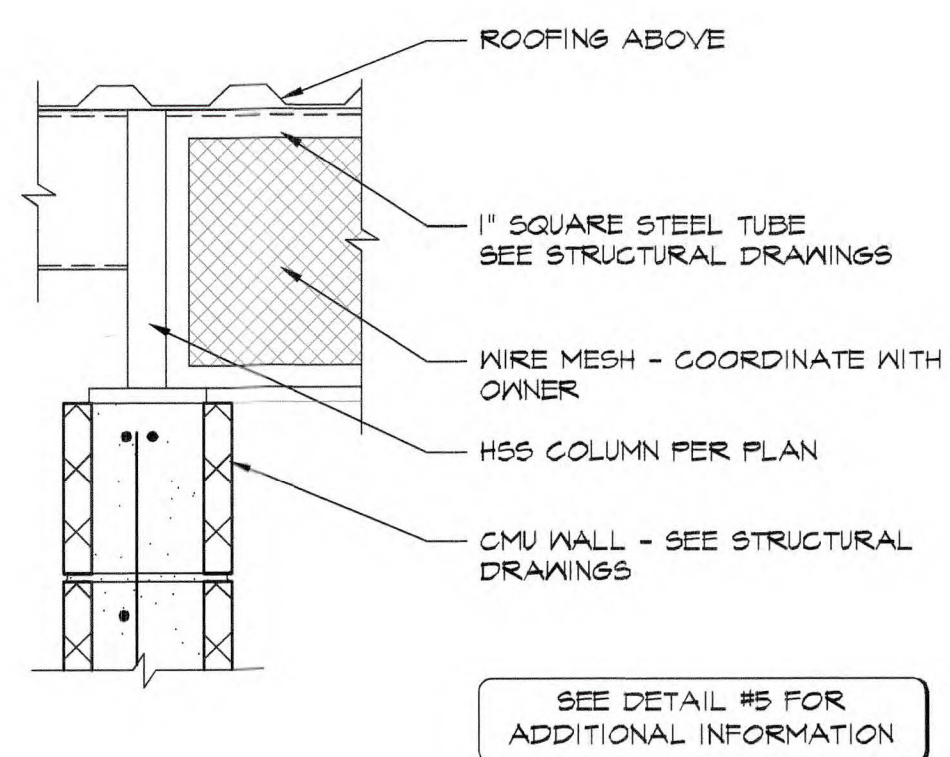
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CRM PROJECT #: 2038

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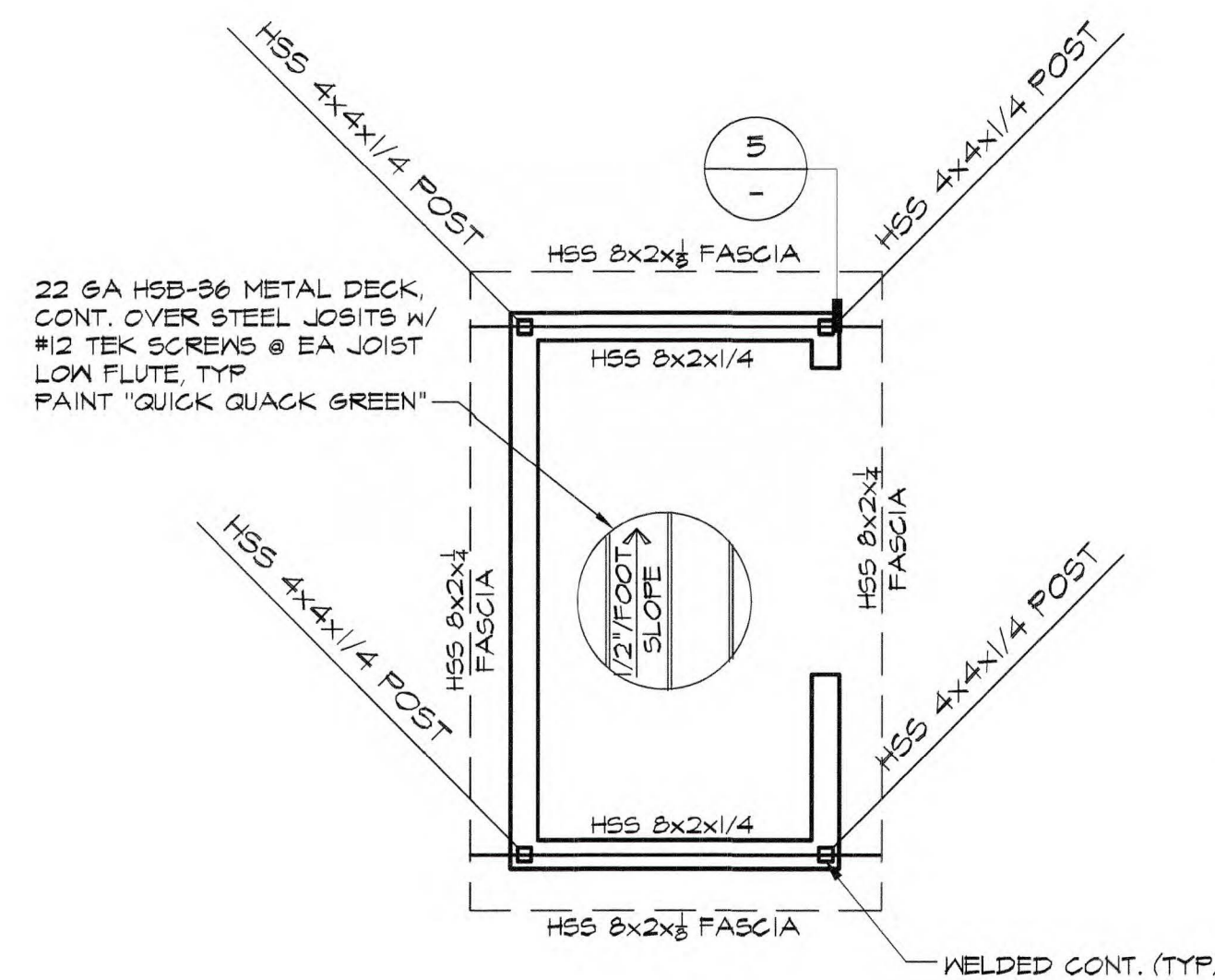


PLANNING DOCUMENTS

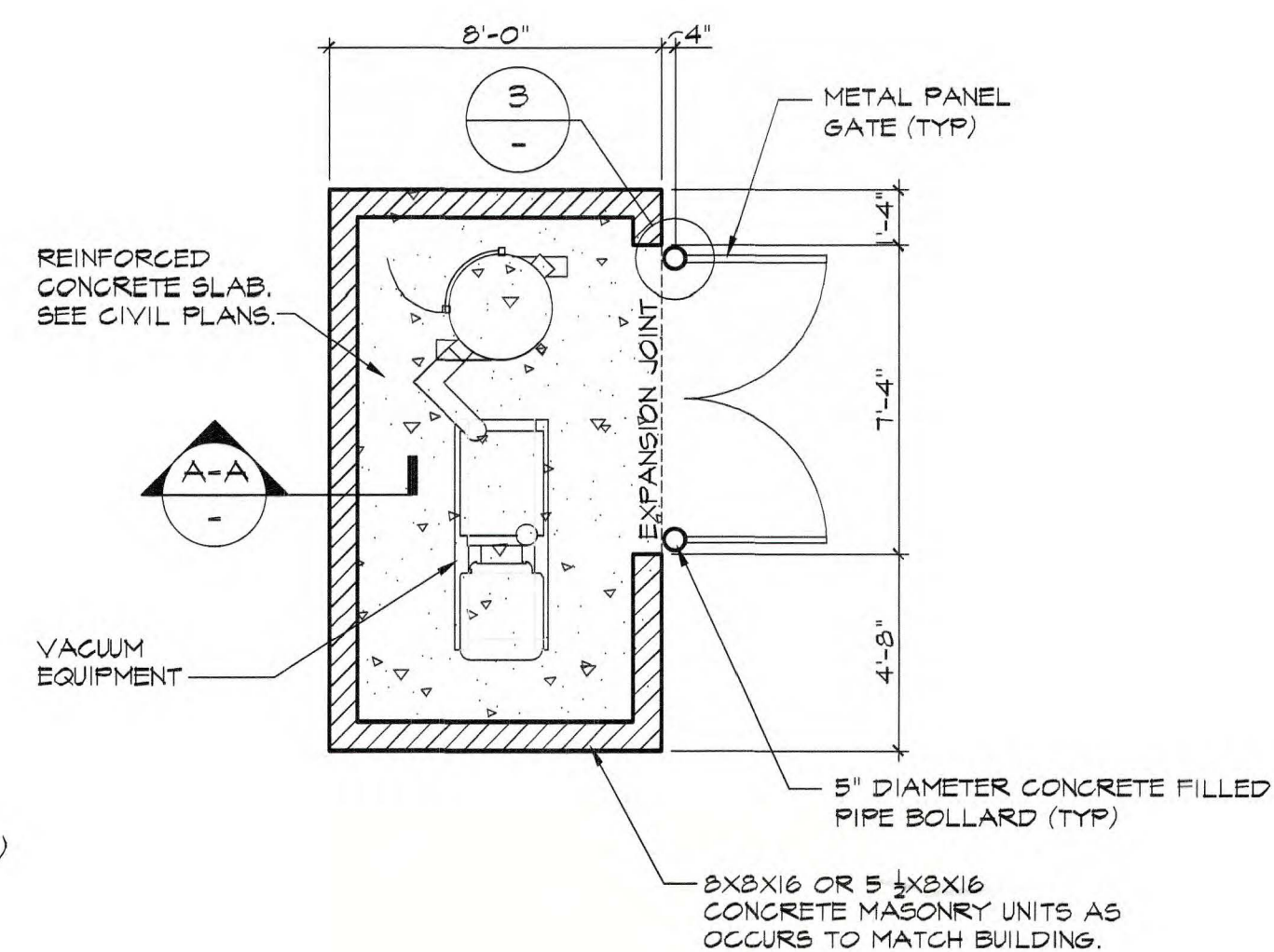
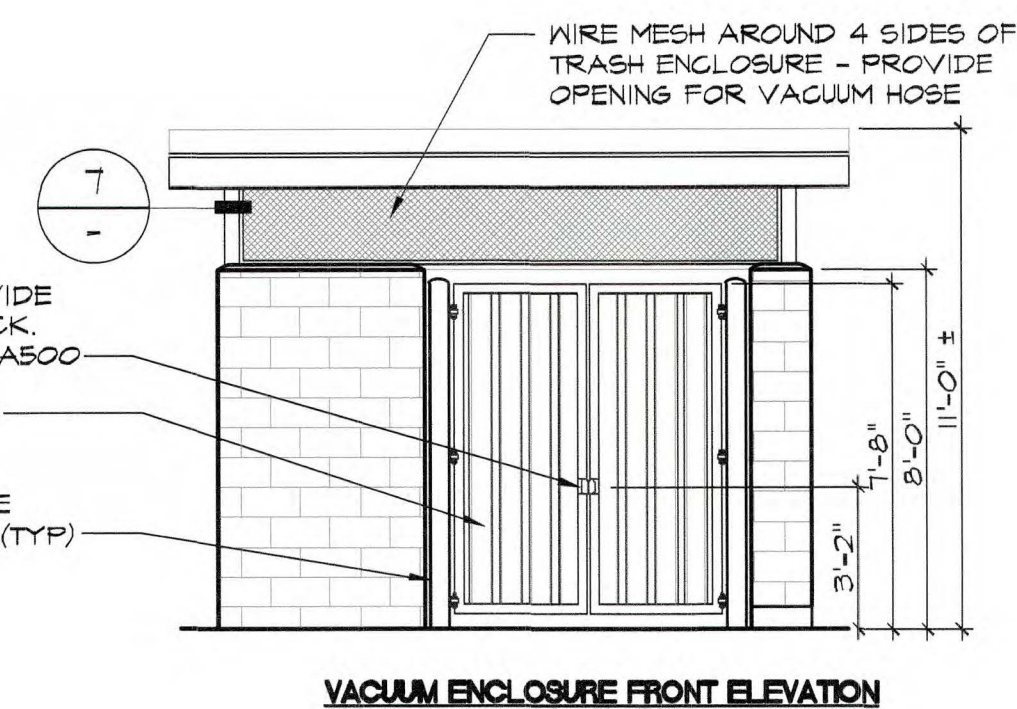
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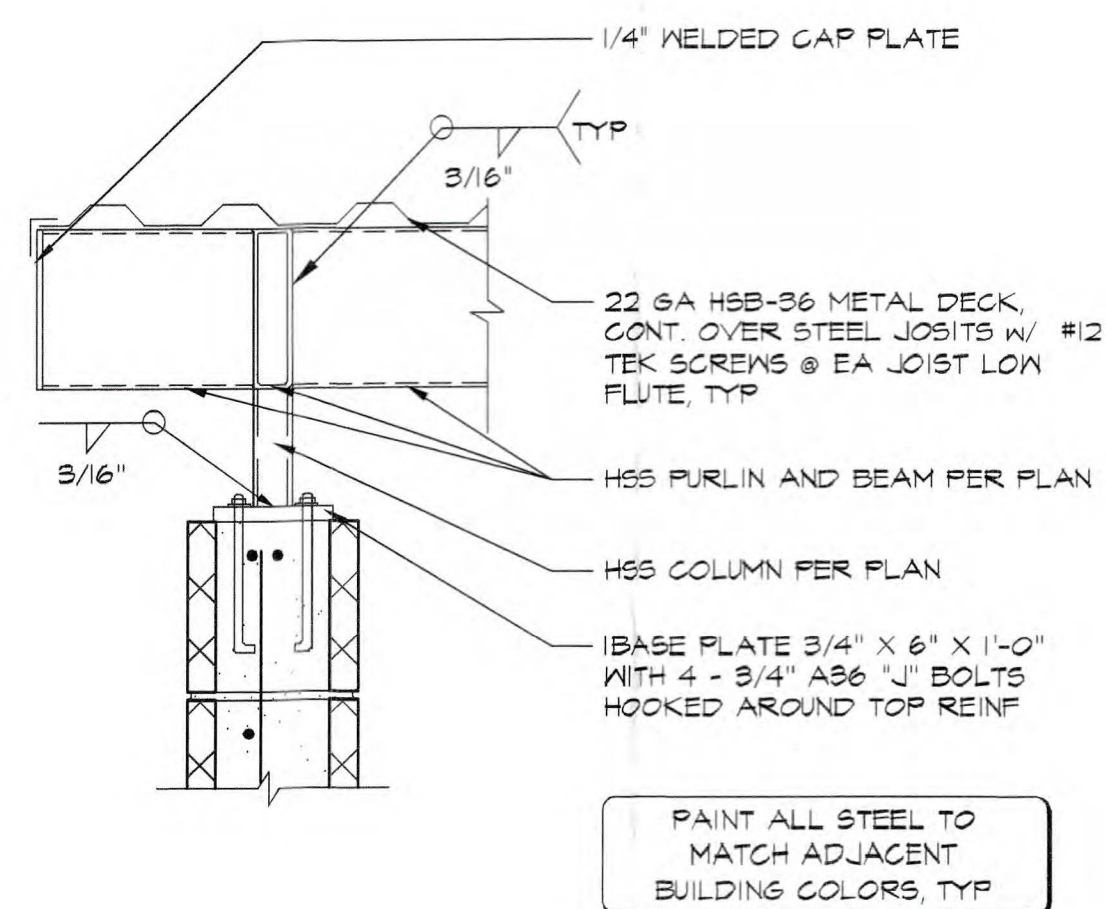
7 MESH DETAIL
SCALE: 1 1/2" = 1'-0"



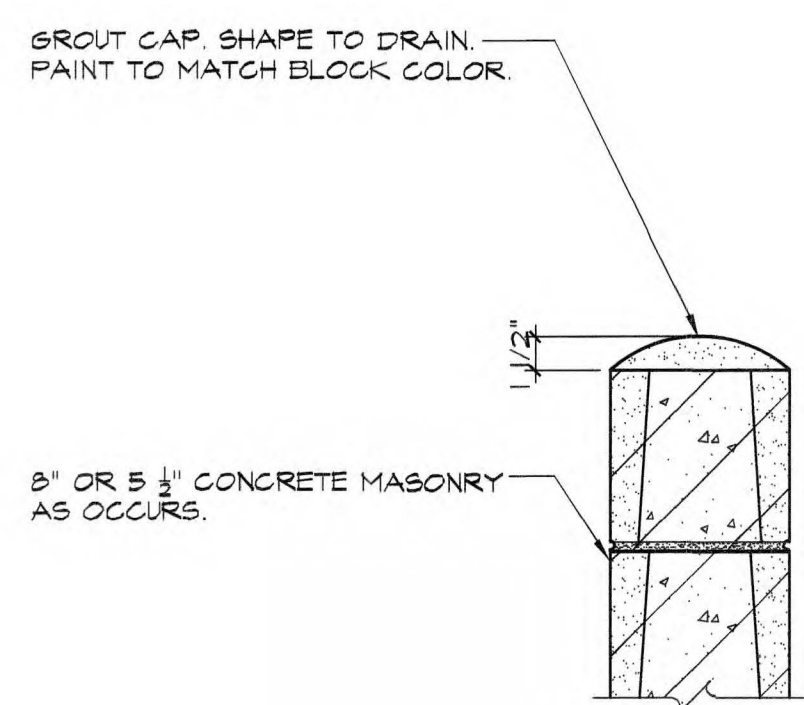
6 DOUBLE TRASH ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0"



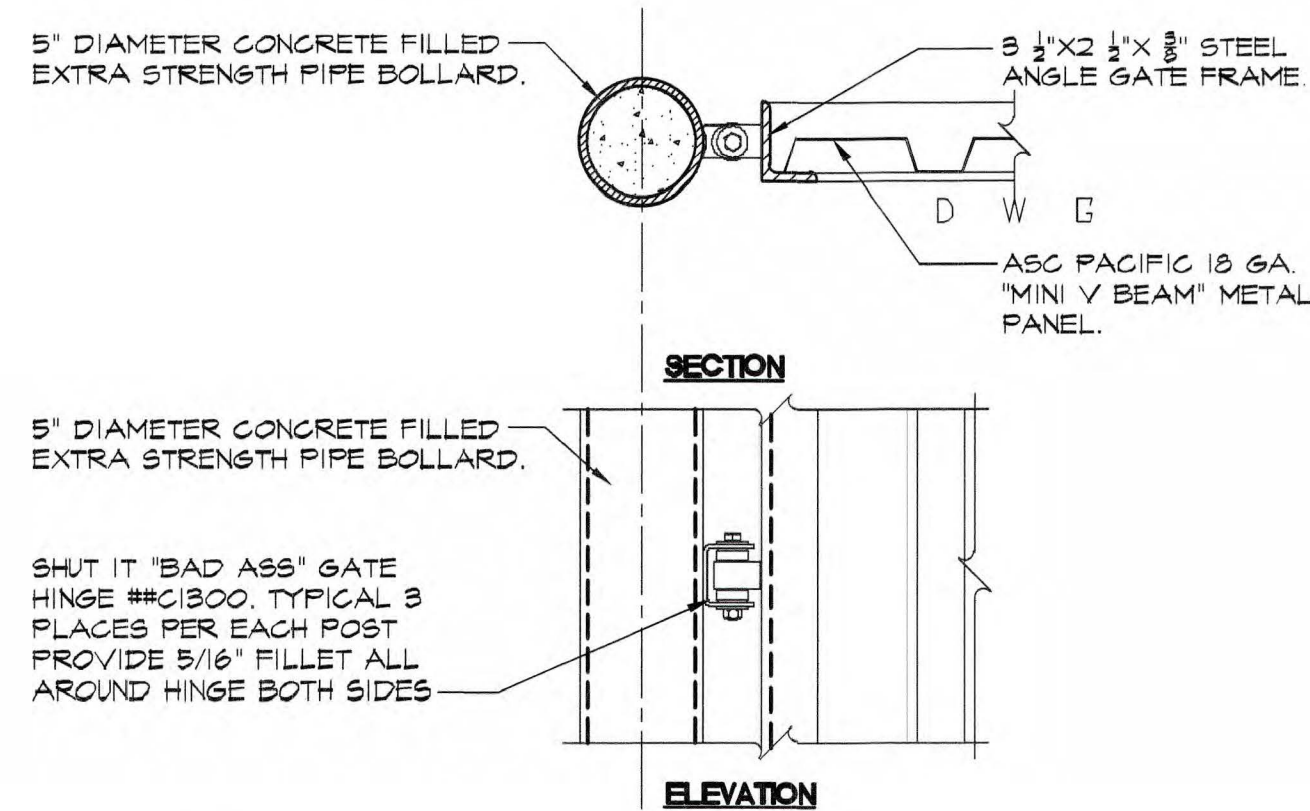
1 NORTH MASONRY VACUUM ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



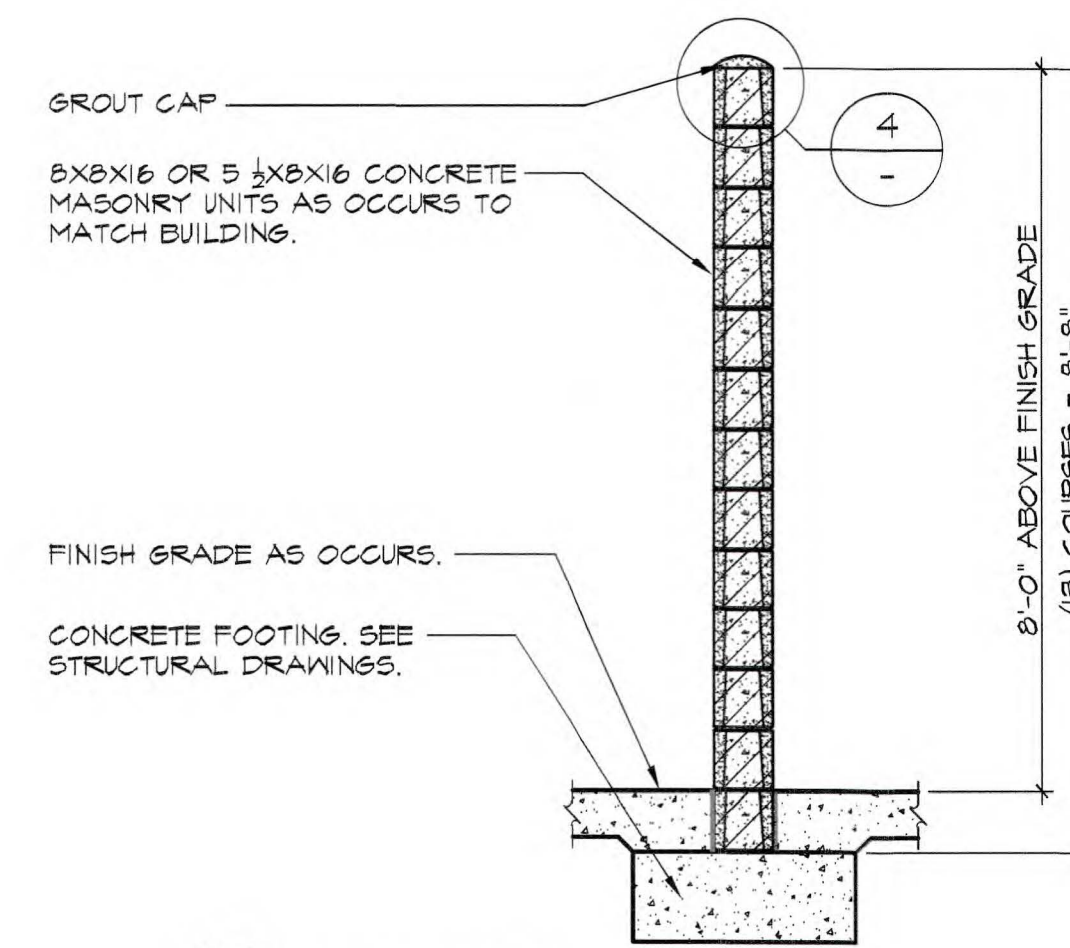
5 SLEEVE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



4 WALL CAP DETAIL
SCALE: 1 1/2" = 1'-0"



3 GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



A-A WALL SECTION
SCALE: 1/2" = 1'-0"

REVISIONS

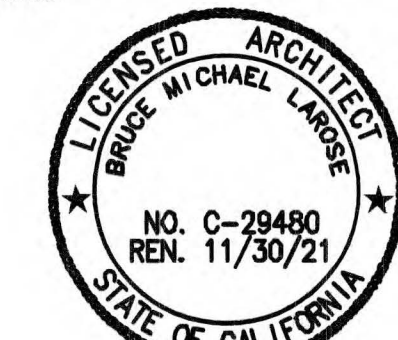
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A5.1

