



# COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667  
Phone: (530) 621-5355 [www.edcgov.us/Planning/](http://www.edcgov.us/Planning/)

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APPLICATION FOR: **CONDITIONAL/MINOR USE PERMIT** FILE # CUP20-0009

ASSESSOR'S PARCEL NO.(s) \_\_\_\_\_

PROJECT NAME/REQUEST: (Describe proposed use) TRACTOR SUPPLY CO RETAIL SALES  
~ 19,000 SQ.FT. BUILDING WITH ANCILLARY FENCED OUTDOOR  
DISPLAY AREA

APPLICANT/AGENT EL DORADO HILLS RETAIL GROUP, LLC

Mailing Address P.O. BOX 5349 SANTA ROSA, CA 95402  
P.O. Box or Street City State & Zip

Phone ( 707 ) 483-3127 EMAIL: YUSTCRE@GMAIL.COM

PROPERTY OWNER PAC TRUST

Mailing Address 15350 SW SEQUOIA PKWY PORTLAND OR 97224  
P.O. Box or Street City State & Zip

Phone ( 503 ) 624-6300 EMAIL: SCOTT@PACTRUST.COM

**LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE**

ENGINEER/ARCHITECT ROD HAWKINS

Mailing Address 436 MITCHELL RD MODESTO CA 95354  
P.O. Box or Street City State & Zip

Phone ( 209 ) 575-4285 EMAIL: RHAWKINS@HAWKINS-ENG.COM

LOCATION: The property is located on the WEST side of LATROBE RD  
N / E / W / S street or road

300 feet/miles NORTH of the intersection with GOLDEN FOOTHILL PKWY  
N / E / W / S major street or road

in the EL DORADO HILL BUSINESS PARK area. PROPERTY SIZE 3.13 ACRES  
acreage / square footage

[Signature] Date 08/27/2020  
signature of property owner or authorized agent

**FOR OFFICE USE ONLY**

Date \_\_\_\_\_ Fee \$ \_\_\_\_\_ Receipt # \_\_\_\_\_ Rec'd by \_\_\_\_\_ Census \_\_\_\_\_

Zoning \_\_\_\_\_ GPD \_\_\_\_\_ Supervisor Dist \_\_\_\_\_ Sec \_\_\_\_\_ Twn \_\_\_\_\_ Rng \_\_\_\_\_

ACTION BY  PLANNING COMMISSION  
 ZONING ADMINISTRATOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date \_\_\_\_\_

Hearing Date \_\_\_\_\_

Approved \_\_\_\_\_ Denied \_\_\_\_\_  
findings and/or conditions attached

Approved \_\_\_\_\_ Denied \_\_\_\_\_  
findings and/or conditions attached

APPEAL:  
Approved \_\_\_\_\_ Denied \_\_\_\_\_

Executive Secretary \_\_\_\_\_

Revised 11/2017  
**CUP20-0009**





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## Conditional/Minor Use Permit

### REQUIRED SUBMITTAL INFORMATION

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted. For your convenience, please use the check (✓) column on the left to be sure you have all the required and applicable information. All plans and maps MUST be folded to 8½" x 11".

#### FORMS AND MAPS REQUIRED

Check (✓)  
Applicant County

- 1) Application form, completed and signed.
- 2) Letter of authorization from all property owners authorizing agent to act as applicant, when applicable.
- 3) Proof of ownership (Grant Deed), if the property has changed title since the last tax roll.
- 4) *NEW SUBDIVISION MAP APPLIED*  
A copy of official Assessor's map, showing the property outlined in red.
- 5) *ON PLANS*  
An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites.
- 6) Environmental Questionnaire form, completed and signed.
- 7) Provide name, mailing address and phone number of all property owners and their agents.
- 8) A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 6000 J Street, Adams Bldg, #103, Sacramento, CA 95819-6100, phone number (916) 278-6217. If the record search identifies a need for a field survey, a survey shall be required. (A list of Archaeological Consultants and survey requirements is available at the Planning Department.) Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors, available at the Planning Department.
- 9) A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Services website under "Applications and Forms".
- 10) If public sewer or water service is proposed, obtain and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.

# CUP20-0009

**FORMS AND MAPS REQUIRED**

Check (✓)  
Applicant County

- 11) If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.
  
- 12) In an accompanying report, provide the following data for area on each proposed parcel that is to be used for sewage disposal:
  - a) Percolation rate and location of test on 4.5 acres or smaller
  - b) Depth of soil and location of test
  - c) Depth of groundwater and location of test
  - d) Direction and percent of slope of the ground
  - e) Location, if present, of rivers, streams, springs, areas subject to inundation, rock outcropping, lava caps, cuts, fills, and easements
  - f) Identify the area to be used for sewage disposal
  - g) Such additional data and information as may be required by the Division Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control
  
- 13) Preceding parcel map, final map, or record of survey, if any exists.
  
- 14) Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cut and fills (for roads and driveways where cuts/fills exceed 6 feet, and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. (See Section 110.14.240 of County Grading Ordinance for submittal detail)
  
- 15) If located within one of the five Ecological Preserve - EP overlay zones (Mitigation Area 0), rare plants may exist on-site. The State Department of Fish & Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish & Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. (A list of possible Botanical Consultants is available at Planning Services.)
  
- 16) Name and address of Homeowner's Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.
  
- 17) A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. (Available from Planning Services are the U.S. Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.)

- \_\_\_\_\_ 18) An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with standards set forth in the General Plan.
- \_\_\_\_\_ 19) Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats.
- \_\_\_\_\_ 20) An air quality impact analysis shall be provided utilizing the El Dorado County Air Pollution Control District's "Guide to Air Quality Assessment."

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e. cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

Check (✓)  
Applicant County

- \_\_\_\_\_ 1) Oak Resources Code Compliance Certificate.
- \_\_\_\_\_ 2) Oak Resources Technical Report prepared by a Qualified Professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.
- \_\_\_\_\_ 3) Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.
- \_\_\_\_\_ 4) Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention and Section 130.30.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).
- \_\_\_\_\_ 5) Reason and objective for impact to oak trees and/or oak woodlands.

SITE PLAN REQUIREMENTS

Five (5) copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. **All plans MUST be folded to 8½" x 11", plus one 8½" x 11" reduction. NO ROLLED DRAWINGS WILL BE ACCEPTED.**

For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

Check (✓)  
Applicant County

- ✓ \_\_\_\_\_ 1) Project name (if applicable). *TRACTOR SUPPLY*
- ✓ \_\_\_\_\_ 2) Name, address of applicant and designer (if applicable).



- \_\_\_ 3) Date, north arrow, and scale.
- \_\_\_ 4) Entire parcel of land showing perimeter with dimensions.
- \_\_\_ 5) All roads, alleys, streets, and their names.
- \_\_\_ 6) Location of easements, their purpose and width.
- \_\_\_ 7) All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.).
- \_\_\_ 8) Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.35 and the Community Design Standards-Parking and Loading Standards).
- \_\_\_ 9) Trash and litter storage or collection areas, and propane tank location(s).
- \_\_\_ 10) Total gross square footage of proposed buildings.
- \_\_\_ 11) Proposed/existing fences or walls.
- \_\_\_ 12) Sign locations and sizes (if proposed) (refer to Zoning Ordinance Chapter 130.16).
- \_\_\_ 13) Pedestrian walkways, courtyards, etc. (if proposed).
- \_\_\_ 14) Exterior lighting plan (if proposed), along with a Photometric Study and fixture specifications (refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards-Outdoor Lighting Standards).
- \_\_\_ \_\_\_ 15) Existing/proposed water, sewer, septic systems, and wells (if applicable).
- \_\_\_ \_\_\_ 16) Existing/proposed fire hydrants.
- \_\_\_ \_\_\_ 17) Tentative subdivision or parcel map (if applicable).
- \_\_\_ \_\_\_ 18) Public uses (schools, parks, etc.)
- \_\_\_ \_\_\_ 19) The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed).
- \_\_\_ \_\_\_ 20) Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. (Refer to the Federal Emergency Management Agency (FEMA) website).
- \_\_\_ \_\_\_ 21) Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems.

**PRELIMINARY LANDSCAPE PLAN REQUIREMENTS**

Required when parking facilities are proposed or otherwise at planner's discretion. (Refer to Zoning Ordinance Chapter 130.33 and the Community Design Standards – Landscaping and Irrigation Standards).

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction**).

Check (✓)  
Applicant County

- 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Chapter 130.33 and the Community Design Standards – Landscaping and Irrigation Standards).
- 2) Note quantity/type of trees to be removed.
- 3) Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed/affected by proposed improvements. Note quantity of trees to be removed.
- 4) List of both common and botanical names of plant material (use of drought tolerant species is highly recommended). A recommended list of drought-tolerant species is available at Planning Services.
- 5) Location of irrigation proposed. (NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available at Planning Services).

**PRELIMINARY GRADING AND DRAINAGE PLAN**

Required whenever any grading is proposed.

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 8.5" x 11" reduction**).

Check (✓)  
Applicant County

- 1) Contours or slope data (pursuant to Chapter 110.14 of County Code Grading, Erosion, and Sediment Control Ordinance).
- 2) Drainage improvements, culverts, drains, etc.
- 3) Limits of cut and fill. \_\_\_\_\_

**PLAN OF BUILDING ELEVATIONS**

Required whenever a new structure or addition is proposed.

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 8.5" x 11" reduction**).

Check (✓)  
Applicant County

- 1) Building design, elevations of all sides.
- 2) Exterior materials, finishes, and colors.
- 3) Existing/proposed signs showing location, height and dimensions. Include sign plan for project with multiple businesses.

Planning Services reserves the right to require additional project information as provided by Section 15060 of the California Environment Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

**NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.**





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### CONDITIONAL/MINOR USE PERMIT

#### PURPOSE

Within each zone district there are land uses permitted by right and land uses permitted only by approval of a minor or conditional use permit. Land uses which are permitted by right are typically authorized by issuance of a building permit or business license. Those uses which are permitted only by the use permit process are those which are not typically found in the applicable zoning district and may be injurious to the neighborhood if not properly controlled. However, the use permit may be approved after public notice, public hearing, and subject to conditions which may limit or control the use.

**Minor Use Permit.** A Minor Use Permit is a process for reviewing uses and activities that are typically compatible with other allowed uses within a zone but due to their nature require consideration of site design and adjacent uses. Minor Use Permits provide for a discretionary review of minor projects or uses that are allowed, but do not meet the standards for administrative review. Unless the project incorporates standards or conditions that are capable of mitigating potentially significant environmental impacts to a level less than significant or is determined to be exempt from CEQA, it will be processed as a Conditional Use Permit.

A Minor Use Permit shall also be necessary for permitting oak tree/oak woodland removal in association with ministerial development (e.g., building or grading permits) where replacement planting or Oak Woodlands conservation (i.e. retention) is requested (either on-site or off-site), in accordance with Section 130.39.060.D (Mitigation – Oak Woodland Removal) of the Zoning Ordinance.

**Conditional Use Permit.** The determination for a Conditional Use Permit shall be made by the Director based on the nature of the application and the policy issues raised by the project.

#### REQUIRED FINDINGS

In accordance with Section 130.52.020 and 130.52.021 of the Zoning Ordinance, the following findings must be made by the Zoning Administrator or Planning Commission before the Minor/conditional use permit can be approved:

1. The issuance of the permit is consistent with the General Plan;
2. The proposed use would not be detrimental to the public health, safety and welfare, or injurious to the neighborhood; and
3. The proposed use is specifically permitted by minor/conditional use permit pursuant to this Title.

**CUP20-0009**



## PROCESS

1. Applicant/agent prepares all required submittal information and makes an appointment to submit the application to Planning Services.
2. Planner is assigned and the application is distributed to affected agencies for consultation and recommendation.
3. Assigned planner and representative from Transportation Division perform site visit and meet on-site with the applicant/agent, if necessary.
4. Draft environmental document is prepared and conditions of approval are drafted (or recommendation for denial is proposed).

Based upon the provisions set forth in the California Environmental Quality Act (CEQA), a Negative Declaration or Mitigated Negative Declaration may be prepared for a proposed project that *will not* have significant environmental impacts, or where those impacts can be mitigated to a less than significant level, respectively. However, if the project *will* have significant environmental impacts that cannot be mitigated, an Environmental Impact Report (EIR) is required. Certain projects may be listed in CEQA as Statutorily or Categorically Exempt from those provisions, in which case the timing and processing of the project is expedited. If it is determined that an EIR is required for your project, processing of the application is placed on "hold" status. The project only proceeds if the applicant agrees to fund the more costly EIR process. The applicant has the right to appeal the decision to require an EIR to the Board of Supervisors.

5. Applicant/agent meet with the Technical Advisory Committee (TAC - staff representatives of affected agencies) to discuss environmental review, conditions of approval (or recommendation for denial), and potential hearing date(s).

**NOTE:** This is a critical meeting and it is absolutely necessary for the applicant or agent to attend. If issues arise which cannot be resolved at this meeting, the application will either be placed on hold or the meeting rescheduled when the issue is resolved.

6. Project is noticed in the local newspaper advertising the required 30-day public review period for Negative Declarations as set by State law, or noting the project is Categorically Exempt from CEQA review.
7. Applicant receives the staff report at least two weeks prior to the public hearing which includes staff recommendation and proposed conditions of approval or mitigation measures.
8. Public hearing is conducted before the Zoning Administrator or Planning Commission where a final decision is made unless appealed by the applicant or affected party
9. An appeal may be filed by either the applicant or affected party within ten working days after decision (see Appeal process below).

## TIMING

Steps 1 through 5 are typically completed within 60 days. The remaining steps are more flexible depending on the complexity of the application. Most applications will reach public hearing in four months. If appealed, an additional 30 days is required for the Board of Supervisors to hear the matter.

## **HEARING**

Applications must be heard by either the Zoning Administrator (minor use permit applications) or the Planning Commission (conditional use permit applications), depending on the complexity of the application. More complex applications are typically heard by the Planning Commission. All public hearings are advertised in a local newspaper and notice is mailed to all property owners within a minimum 1,000-foot radius of the subject property.

## **APPEALS**

If an appeal is made, the matter is heard at a public hearing of the Planning Commission or Board of Supervisors, depending on whether a minor or conditional use permit, with notice given as described above. Said appeal is usually heard 30 days after Zoning Administrator or Planning Commission decision.

## **FEES**

Current application fees may be obtained by contacting Planning Services at (530) 621-5355 or by accessing Planning Services online fee schedule at [www.edcgov.us/Government/planning/Pages/fees.aspx](http://www.edcgov.us/Government/planning/Pages/fees.aspx).

**NOTE:** Should your application be denied, application fees are nonrefundable. Should you request withdrawal of the application before a decision has been made, you may receive only that portion of the fee which has not yet been expended. If the public hearing notice has been advertised, fees are nonrefundable.

**NOTE:** In accordance with State Legislation (AB3158), you will be required to pay a State Department of Fish and Wildlife fee after approval of your application prior to the County filing the Notice of Determination on your project. This fee that increases annually, less \$50.00 processing fee, is forwarded to the State Department of Fish and Wildlife and is used to help defray the cost of managing and protecting the State's fish and wildlife resources. If the project is found to have no effect on fish and game resources or otherwise exempt, only the \$50.00 processing fee is required to file the Notice of Exemption with the State. These fees are due immediately after project approval, checks payable to "El Dorado County" and submitted to Planning Services for processing.

## **CONVERSION TO TIME AND MATERIALS**

When in the opinion of the Development Services Director the required fee for an application is going to be inadequate to cover processing costs due to the complexity of the project or potential controversy that it may generate, the Development Services Director may convert the application to a time and materials process. When this conversion is proposed, the applicant will be notified in writing and will be requested to submit a deposit in an amount estimated to be sufficient to cover the remaining staff work to bring the application to a final decision. Staff work on the application will stop until a deposit is provided. Normally this conversion will occur when it is obvious the required fee is going to be insufficient, which would typically occur during or soon after the Technical Advisory committee meeting. However, it could occur later in the project if controversy becomes more evident and/or revisions are proposed to the project to mitigate project impacts or neighbor concerns. After the conversion, the applicant will receive a monthly statement/bill identifying the remaining processing fee and/or deposit, or the amount due if deposited funds have been exhausted. If monies are owed, they shall be paid before action by the hearing body.

### **CONDITIONS OF APPROVAL**

As an applicant, you should be aware that environmental mitigation measures or other requirements will likely be made conditions of approval. Depending on the nature of the application, conditions of approval might involve landscaping, protection of riparian areas, fencing, paving of parking or access road, limited hours of operation, etc.

If your application involves a building permit, you should be aware of other costs that may be part of the building permit process that typically follows approval of an application. In addition to normal building permit fees, you will likely be required to pay traffic impact mitigation (TIM) fees, school fees based on square footage of the proposed building, plus fire and solid waste fees. The County Building Services has an informational document on commercial projects which identifies the extent of fees that may be required. It is also beneficial to contact those departments or agencies requiring the fees to determine actual estimated costs.

### **DEED RESTRICTIONS**

Please review and understand any private deed restrictions recorded against your property to insure your proposed application does not violate such deed restrictions. If a conflict exists between the deed restrictions and your application, the County can still approve your application and issue necessary permits. However, County approval does not absolve your obligation to comply with deed restrictions.

### **APPLICATION**

If the application and submittal requirements are not attached to this information packet, please contact Planning Services. You may also call Planning Services at (530) 621-5355 for general assistance.

### **APPOINTMENT**

Applications are accepted by appointment only. Please call ahead for an appointment with a planner when you are ready to submit your application. Please have all required submittal information completed before your appointment. Appointments are generally made within 48 hours of your call to Planning Services at (530) 621-5355.





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Phone: (530) 621-5355 [www.edcgov.us/Planning/](http://www.edcgov.us/Planning/)

## EL DORADO COUNTY PLANNING SERVICES ENVIRONMENTAL QUESTIONNAIRE

File Number \_\_\_\_\_

Date Filed \_\_\_\_\_

Project Title TRACTOR SUPPLY Lead Agency \_\_\_\_\_

Name of Owner EL DORADO HELIX RETAIL GROUP, LLC Telephone 707-483-3127

Address P.O. BOX 5349

Name of Applicant BRAD YUST Telephone 707-483-3127

Address P.O. BOX 5349 SANTA ROSA, CA 95402

Project Location LATROBE ROAD + GOLDEN FOOTHILL PKWY

Assessor's Parcel Number(s) \_\_\_\_\_ Acreage \_\_\_\_\_ Zoning \_\_\_\_\_

**Please answer all of the following questions as completely as possible.** Subdivisions and other major projects will require a Technical Supplement to be filed together with this form.

- Type of project and description: TRACTOR SUPPLY CO RETAIL ~ 19,000 SQ.F. BUILDING WITH ANOILLARY OUTDOOR DISPLAY AREA FENCED
- What is the number of units/parcels proposed? 1 (NEW) PARCEL

### GEOLOGY AND SOILS

3. Identify the percentage of land in the following slope categories:

- 0 to 10%    
  11 to 15%    
  16 to 20%    
  21 to 29%    
  over 30%
- 100%

4. Have you observed any building or soil settlement, landslides, rock falls or avalanches on this property or in the nearby surrounding area? NO

5. Could the project affect any existing agriculture uses or result in the loss of agricultural land? NO

# CUP20-0009

**DRAINAGE AND HYDROLOGY**

6. Is the project located within the flood plain of any stream or river? NO  
If so, which one? \_\_\_\_\_
7. What is the distance to the nearest body of water, river, stream or year-round drainage channel?  
1,500 FEET WEST Name of the water body? CARSON CREEK
8. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amount into any lakes, rivers or streams? NO
9. Will the project result in the physical alteration of a natural body of water or drainage way?  
If so, in what way? NO
10. Does the project area contain any wet meadows, marshes or other perennially wet areas?  
NO

**VEGETATION AND WILDLIFE**

11. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each:  
100% RUDERAL VEGETATION
12. How many trees of 6-inch diameter will be removed when this project is implemented?  
NONE

**FIRE PROTECTION**

13. In what structural fire protection district (if any) is the project located? EL DORADO HILLS F.D.
14. What is the nearest emergency source of water for fire protection purposes (hydrant, pond, etc.)? NEW HYDRANT TO BE INSTALLED AT THE DIRECTION OF F.D.
15. What is the distance to the nearest fire station? 2 MILES
16. Will the project create any dead-end roads greater than 500 feet in length? NO
17. Will the project involve the burning of any material including brush, trees and construction materials? NO

**NOISE QUALITY**

18. Is the project near an industrial area, freeway, major highway or airport? NO  
If so, how far? \_\_\_\_\_
19. What types of noise would be created by the establishment of this land use, both during and after construction? STANDARD NOISE DURING CONSTRUCTION  
VEHICULAR TRAFFIC WHEN STORE IS OPEN



**AIR QUALITY**

20. Would any noticeable amounts of air pollution, such as smoke, dust or odors, be produced by this project? NO

**WATER QUALITY**

21. Is the proposed water source  public or  private,  treated or  untreated?

22. What is the water use (residential, agricultural, industrial or commercial)? RESTROOMS

**AESTHETICS**

23. Will the project obstruct scenic views from existing residential areas, public lands, and/or public bodies of water or roads? NO

**ARCHAEOLOGY/HISTORY**

24. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (e.g., Indian burial grounds, gold mines, etc.) NO

**SEWAGE**

25. What is the proposed method of sewage disposal?  septic system  sanitation district  
Name of district: EL DORADO HILLS

26. Would the project require a change in sewage disposal methods from those currently used in the vicinity? NO

**TRANSPORTATION**

27. Will the project create any traffic problems or change any existing roads, highways or existing traffic patterns? NO

28. Will the project reduce or restrict access to public lands, parks or any public facilities?  
NO

**GROWTH-INDUCING IMPACTS**

29. Will the project result in the introduction of activities not currently found within the community? NO

30. Would the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?  
NO



31. Will the project require the extension of existing public utility lines? NO  
If so, identify and give distances: \_\_\_\_\_

**GENERAL**

32. Does the project involve lands currently protected under the Williamson Act or an Open Space Agreement? NO
33. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material?  
NO
34. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? NO
35. Could the project create new, or aggravate existing health problems (including, but not limited to, flies, mosquitoes, rodents and other disease vectors)? NO
36. Will the project displace any community residents? NO

**DISCUSS ANY YES ANSWERS TO THE PREVIOUS QUESTIONS** (attached additional sheets if necessary)

**MITIGATION MEASURES** (attached additional sheets if necessary)

Proposed mitigation measures for any of the above questions where there will be an adverse impact:

Form Completed by: BRAO YUST Date: 08/27/2020

# JOHN SUTTON, ARCHITECT

2020 SEP 22 AM 8:45

RECEIVED  
PLANNING DEPARTMENT

July 28, 2020  
Applicant  
El Dorado Hills Retail Group  
Attn: Brad Yust

P.O. Box 5349  
Santa Rosa, CA 95402  
Phone: 707-483-3127  
email: Yustcre@gmail.com

**El Dorado Hills Business Park Architectural Design Review for  
New Building, Tractor Supply at Golden Foothill Pkwy & Latrobe  
Rd, El Dorado Hills Business Park, CA**

Dear Brad,

The El Dorado Hills Business Park Architectural Review Committee has completed its review of the above referenced project and has **approved** the submittal based on the following conditions.

I have reviewed the re-submitted response letter and Drawings submitted by the applicant dated 7/21/20 which has been forwarded to the Architectural Review Committee.

1. The applicant shall provide the Assessor Parcel Number and evidence that the proper road and or parking easements have been acquired for the adjacent lots at the time such information has been approved by El Dorado County Planning.
2. Two building mounted signs and one single tenant monument sign have been reviewed and approved for design & location by the ARC. The secondary building sign shall not exceed 50 Sq. Ft. The main building entry sign shall not exceed 93.8 Sq. Ft.
3. This is a one-time approval for a retail use.

6080 Pony Express Trail #6 Pollock Pines, CA 95726  
Ph: (530) 647-1420  
suttonarch@gmail.com

**CUP20-0009**

JOHN SUTTON, ARCHITECT

The Applicant shall note that this conditional approval does not constitute approval by the El Dorado County Planning Department. Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "John Sutton". The signature is written in a cursive style with a large, looping initial "J" and a long horizontal stroke extending from the end of the name.

John Sutton, Architect

Cc: EDHBP Architectural Review Committee,  
Kurt Biddle: Kocal Properties Inc.



2020 SEP 22 AM 8:45  
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## DRAFT MEMORANDUM

Date: August 9, 2020  
To: Brad Yust, El Dorado Hills Retail Group, LLC  
From: David B. Robinson, Fehr & Peers  
**Subject: *Tractor Supply Co – El Dorado Hills***

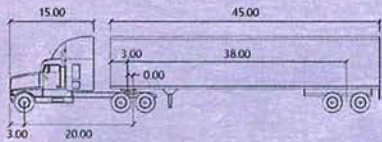
RS20-3943

Fehr & Peers completed the on-site circulation analysis of the proposed Tractor Supply Co. project in El Dorado Hills, Ca. The project is located north of Golden Foothill Parkway and west of Latrobe Road with a full access driveway approximately 470 feet west of the curb return at Latrobe Road.

We used the swept path analysis software, AutoTurn, to determine if the site plan can accommodate the following vehicles:

- CA Legal (65-Foot) Truck
- Rear Load (38-foot) Garbage Truck
- Front Load (34-foot) Garbage Truck
- Single Unit (30-foot) Propane Truck

Figures 1 through 4 show the AutoTURN swept path for each of the vehicles identified above. As shown, the site plan can accommodate all the vehicles without encroachment. No modifications to the site plan are required.



CA LEGAL - 65 FT (50 FT RADIUS)

feet			
Tractor Width	8.50	Lock to Lock Time	6.0
Trailer Width	8.50	Steering Angle	26.0
Tractor Track	8.50	Articulating Angle	70.0
Trailer Track	8.50		

**LEGEND**

- VEHICLE BODY
- VEHICLE TIRES
- VEHICLE PATH
- █ VEHICLE BODY ENVELOPE



CONCEPTUAL - NOT FOR CONSTRUCTION. ADDITIONAL DETAILED ANALYSIS AND ENGINEERING DESIGN REQUIRED.



Figure 1  
 El Dorado Hills Tractor Supply Company  
 Truck Turning Exhibit  
 CA Legal - 65 Ft

200 0147 01 2008 7/14/2008 11:54:00 AM 1/14/2008 11:54:00 AM 1/14/2008 11:54:00 AM



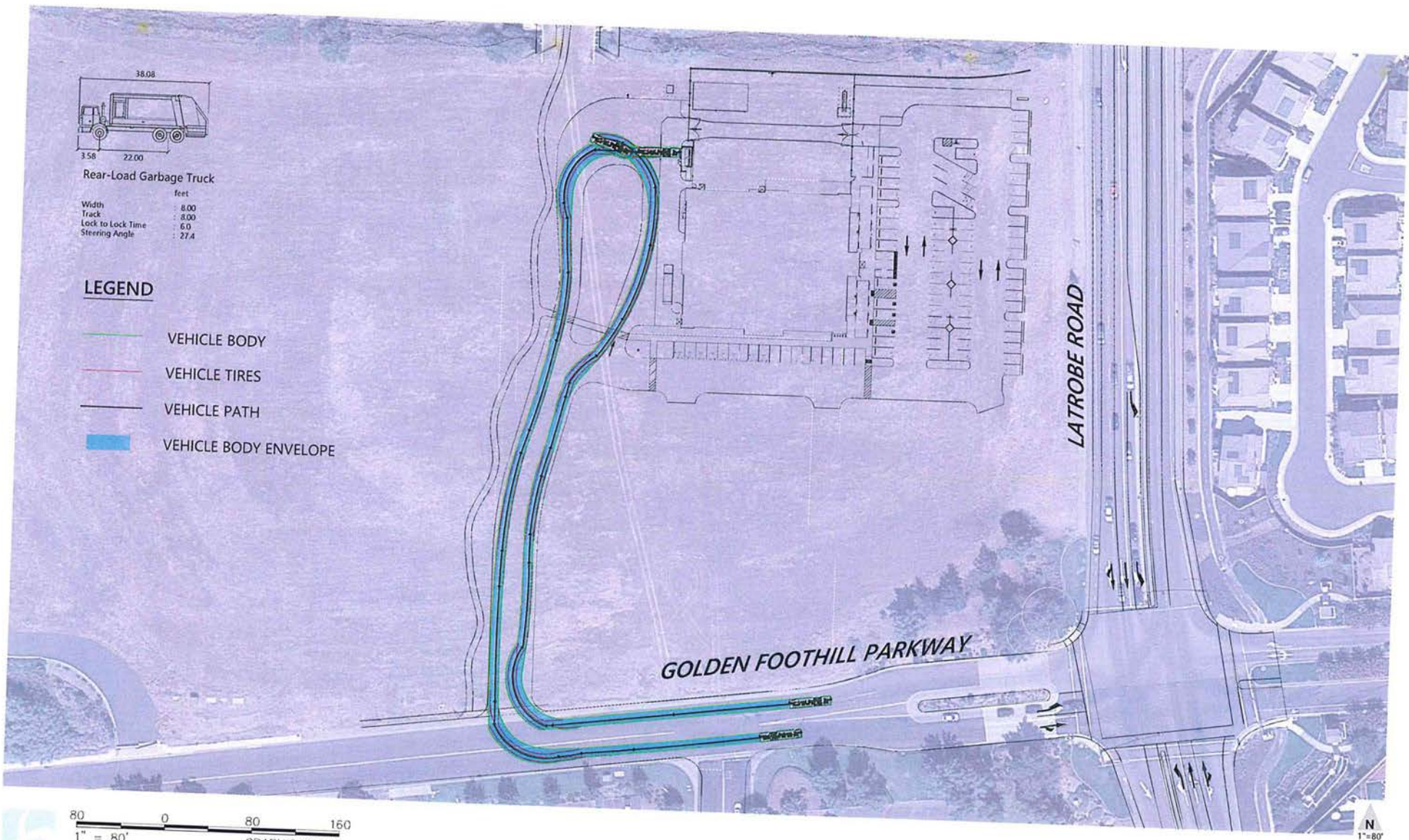
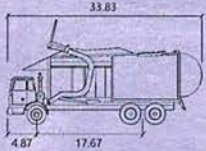


Figure 2  
 El Dorado Hills Tractor Supply Company  
 Truck Turning Exhibit  
 Rear-Load Garbage Truck





**Front-Load Garbage Truck**

	feet
Width	: 8.46
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

**LEGEND**

- VEHICLE BODY
- VEHICLE TIRES
- VEHICLE PATH
- VEHICLE BODY ENVELOPE



CONCEPTUAL - NOT FOR CONSTRUCTION. ADDITIONAL DETAILED ANALYSIS AND ENGINEERING DESIGN REQUIRED.

Figure 3  
 El Dorado Hills Tractor Supply Company  
 Truck Turning Exhibit  
 Front-Load Garbage Truck



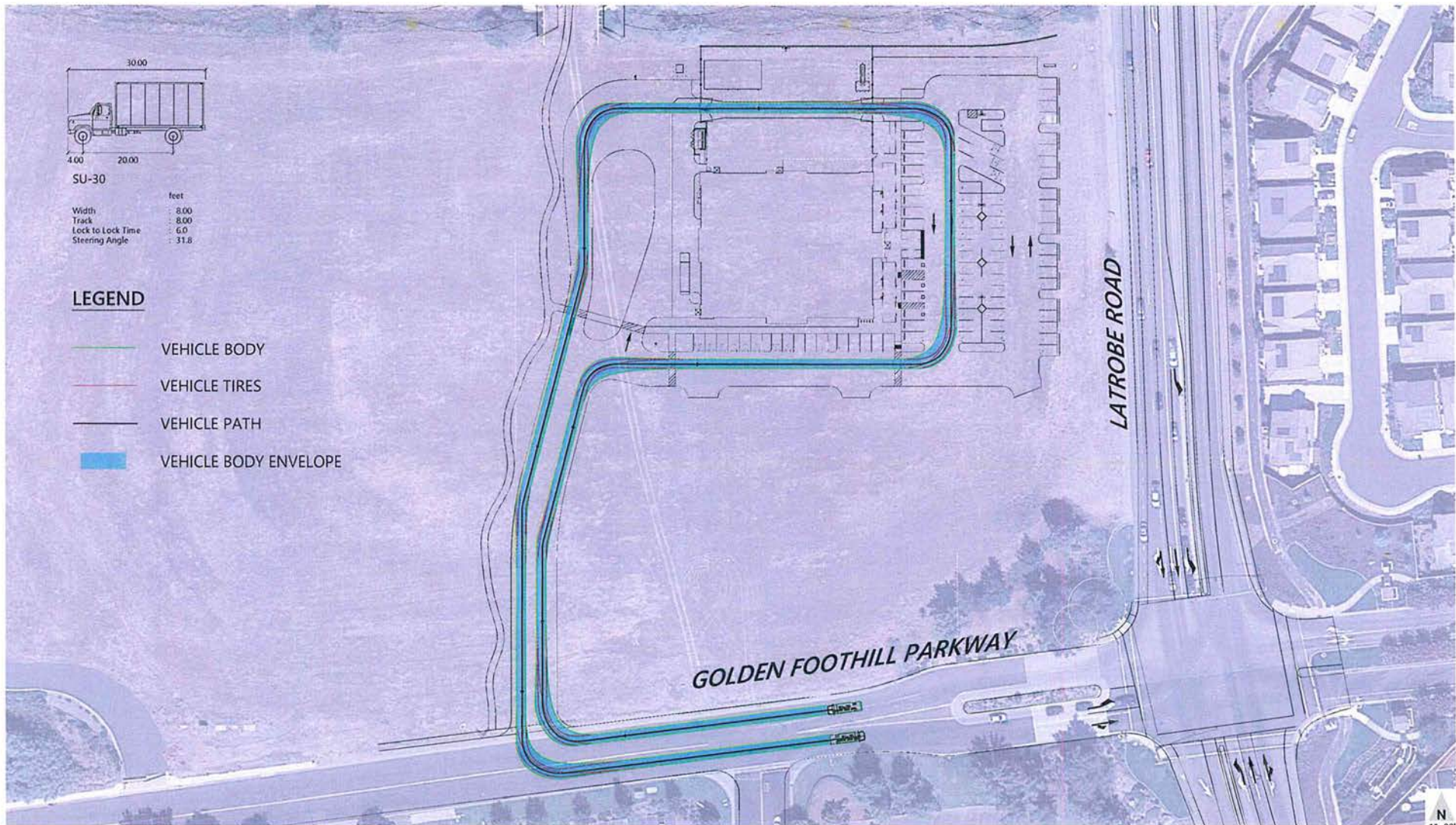


Figure 4  
 El Dorado Hills Tractor Supply Company  
 Truck Turning Exhibit  
 Single Unit 30' Truck (Propane Truck)

2020 SEP 22 AM 8:42

# Tractor Supply Company Retail Store

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Latrobe Road and Golden Foothill Parkway, El Dorado Hills, Ca

August 28, 2020

## Current Reports and Evaluations

### El Dorado Hills Business Park

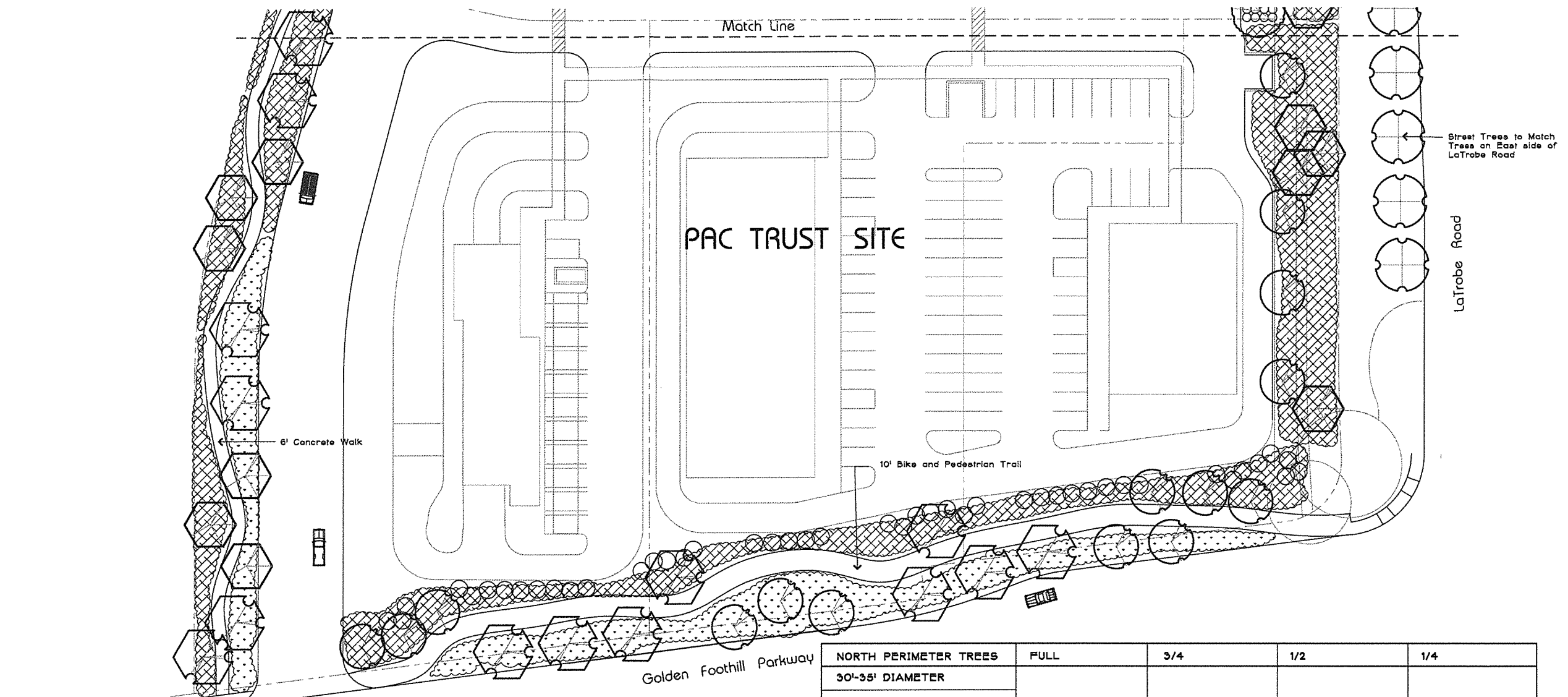
#### Table of Contents

1. Conditional / Minor Use Permit Application
2. County Of El Dorado Environmental Questionnaire
3. El Dorado Hills Business Park Association - Approval Letter
4. Traffic Memorandum , Fehr and Peers
5. Cultural Resources Report Study, Helix Environmental Planning
6. Letters to Indian Tribes, Helix Environmental Planning
7. Noise Impact Study, Helix Environmental Planning
8. Biological Resources Evaluation, Helix Environmental Planning

**CUP20-0009**



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**Parking Tree Canopy Shade Provided**

INTERIOR TREES 100%	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
<i>Pistacia chinensis</i>	10x707= 7,070 s.f.	N/A	N/A	N/A
<b>SHADE SUB-TOTAL</b>	7,070 s.f.	N/A	N/A	N/A

SOUTH PERIMETER TREES	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
<i>Pistacia chinensis</i>	N/A	N/A	7x354= 2,478 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	2,478 s.f.	N/A

WEST PERIMETER	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
<i>Pistacia chinensis</i>	N/A	N/A	3x354=1062 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	1,062	N/A

NORTH PERIMETER TREES	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
<i>Pistacia chinensis</i>	N/A	N/A	3x354= 1,062 s.f.	N/A
<i>Quercus ilex</i>	N/A	N/A	3x354= 1,062 s.f.	N/A
<b>15'-20' DIAMETER</b>				
<i>Cercia candensis</i>	N/A	N/A	4x157= 628 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	2,752 s.f.	N/A

EAST PERIMETER	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
<i>Quercus ilex</i>	N/A	N/A	5x354= 1,770 s.f.	N/A
<i>Pistacia chinensis</i>	4x707= 2,828 s.f.	N/A	N/A	N/A
<b>SHADE SUB-TOTAL</b>	2,828 s.f.	N/A	1770 s.f.	N/A

**Shade Calculations**

Minimum 50% Tree Shade Coverage Required at Maturity		
Paved Parking Area: 32,522 s.f.	Total Shade Provided: 17,960 s.f.	Shade Percentage: 56%
Paved Parking Area: 32,522 s.f.	Total Interior Planting: 2,970 s.f.	Planting Area Percentage: 9%



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### Planting Legend

Planting Legend	Planting Legend	Water Use
<b>CANOPY TREE (Selection Optional):</b> Platanus chinensis Quercus ilex Quercus lobata Sinus malta	<b>24" Box:</b> CHINESE PISTACHE HOLLY OAK VALLEY OAK CALIFORNIA PEPPER	Low Low Low Low
<b>SMALL ACCENT TREE (Selection Optional):</b> Cercis occidentalis Arbutus 'Marina'	<b>24" Box:</b> WESTERN REDBUD NCN	Low Low
<b>LARGE SHRUB (Selection Optional):</b> Arbutus unedo Arctostaphylos spp. Ceanothus 'Dark Star' Lavatera caesargentiflora Rhus ovata Rhamnus californicum	<b>15-Gal:</b> STRAWBERRY TREE MANZANITA WILD LILAC TREE MALLOW SUGAR BUSH COFFEEBERRY	Low Low Low Moderate Low Low

<b>MEDIUM SHRUB (Selection Optional):</b> Callistemon v. 'Little John' Diorea irridioides Lavandula spp. Phormium t. 'Bronze Baby' Pittosporum spp. Rhopilepis umbelata Salvia leucantha Teucrium fruticans	<b>5-Gal:</b> BOTTLEBRUSH FORTNIGHT LILY LAVENDER DWARF NEW ZEALAND FLAX PITTOSPORUM INDIA HAWTHORN MEXICAN SAGE BUSH GERMANDER	Low Low Low Low Moderate Low Low Low
<b>SUB SHRUB (Selection Optional):</b> Hemerocallis Scaevola 'Maue Clusters' Lavandula a. 'Blue cushion' Teucrium chamaedrus	<b>1-Gal:</b> DAY LILY SCAEVOLA LAVANDER GERMANDER	Moderate Low Low Low
<b>GROUND COVER (Selection Optional):</b> Native No Mow Meadow Grass Baccharis p. 'Pigeon Point' Ceanothus m. 'Valley Violet'	<b>1-Gal &amp; Liners:</b> SOD (Delta Bluegrass) COYOTE BUSH NCN	Low Low Low

TOTAL TRACTOR SUPPLY LANDSCAPE AREA: 33,195 S.F.  
 TOTAL FACTRUST LANDSCAPE AREA: 23,830 S.F.  
 ALL ON-SITE UTILITIES SHALL BE SURROUNDED WITH SHRUBS.

### WATER EFFICIENT LANDSCAPE STATEMENT

The irrigation system shall be designed to meet current water efficient standards and State Water Efficient Ordinance AB 1881 as required by local jurisdictions while achieving the goal of effectively providing the landscape with water by the means of high efficiency spray irrigation to the turf and ground cover areas and drip irrigation bubblers to restrict shrub planting and shrub mass planting area as applicable.

Irrigation systems shall be designed to accommodate recycled water where available either currently or in the future as directed by the Local Water Purveyor. Recycled water systems shall be designed in accordance with Local and State codes.

Irrigation systems for landscapes greater than 5,000 SF shall have a dedicated water meter for irrigation.

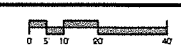
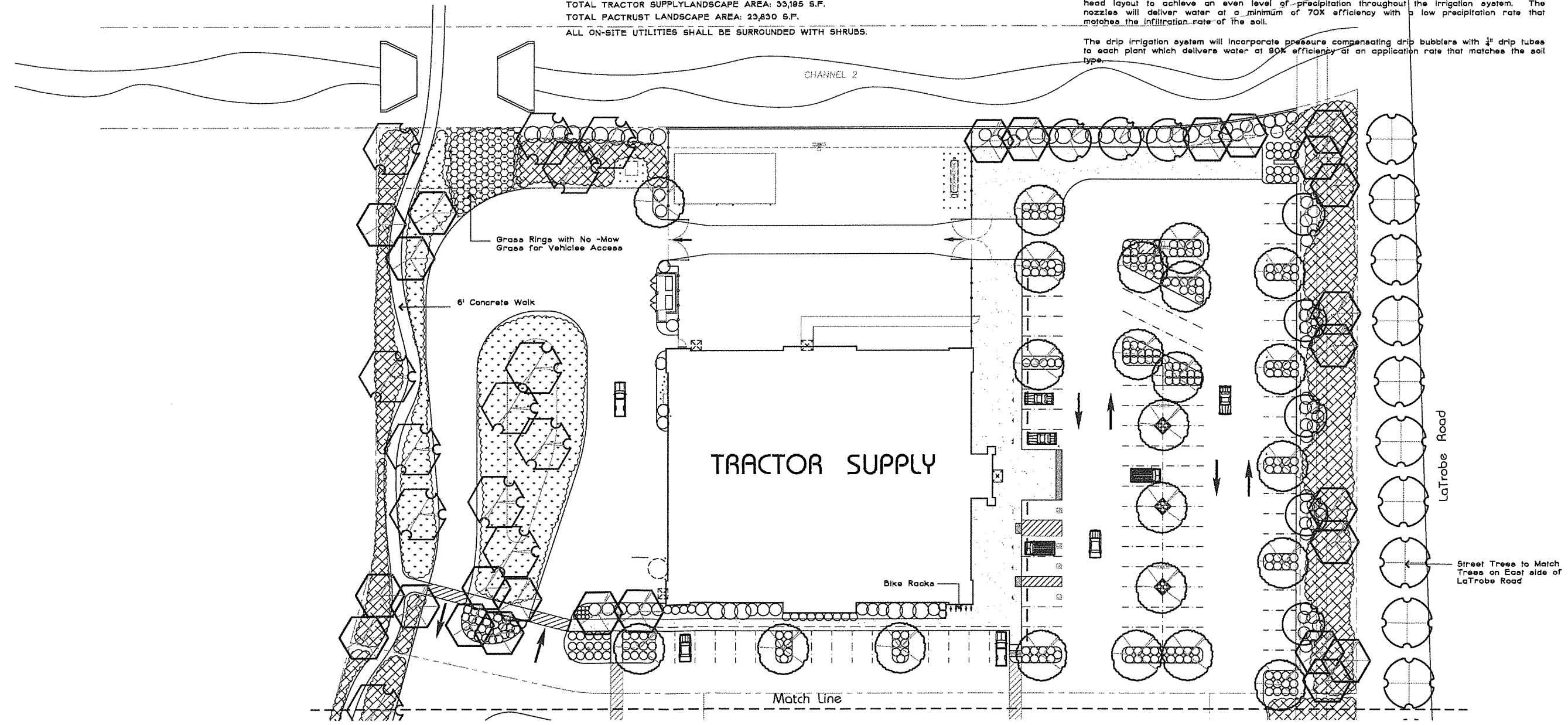
A water efficient landscape work sheet shall be included with hydrozone information table, water budget calculations and irrigation operating schedules.

A state of the art ET based self-adjusting irrigation controller shall be specified for this project to automatically control the water allocated to each valve grouped per individual hydrozone (based on plant type and exposure). This shall include rain and flow sensors as applicable for a higher level of water conservation.

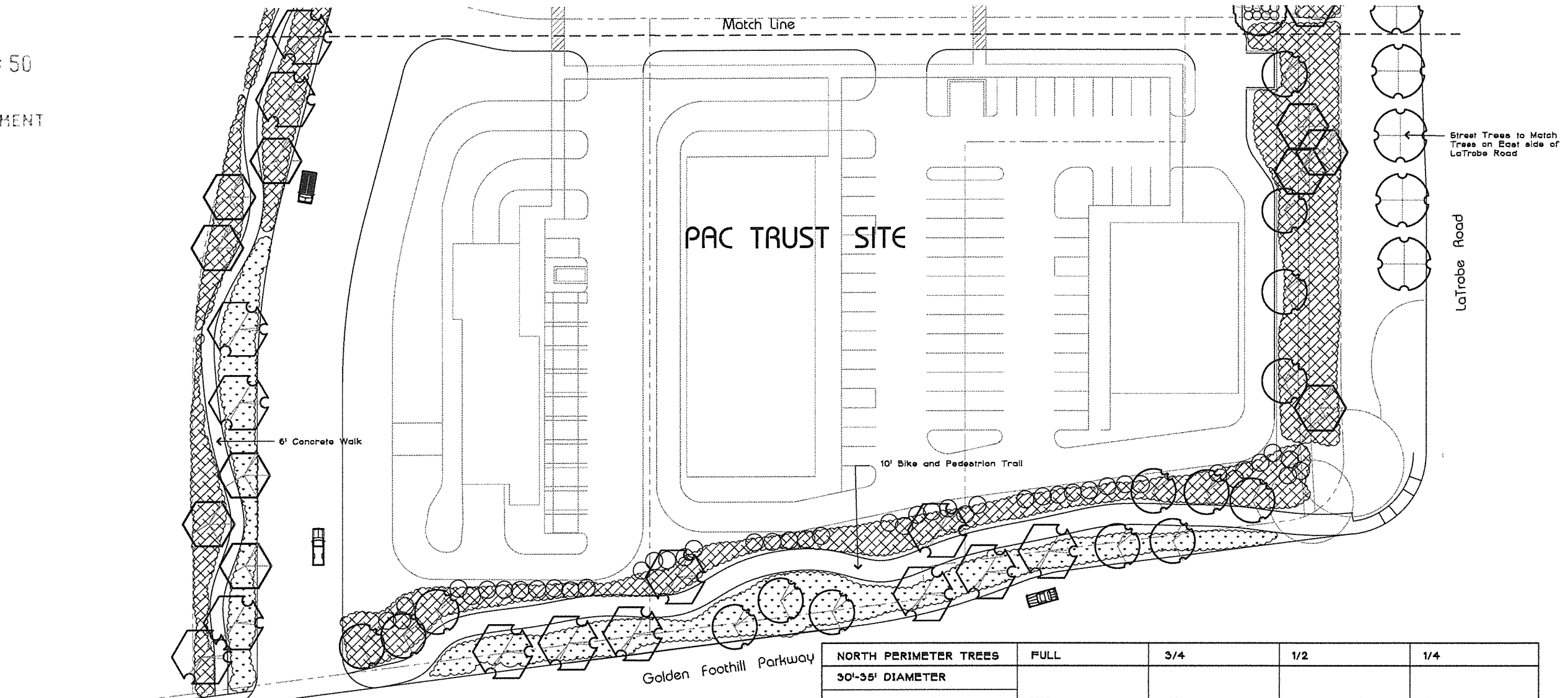
Tree bubblers shall be included on separate circuits to isolate the irrigation to trees and provide deep watering to promote a deeper root zone.

Spray irrigation systems for ground cover areas greater than 8' wide in any direction shall be designed with commercial series spray heads with high efficiency nozzles that include internal check valves and pressure compensating devices. The heads shall be designed in a head to head layout to achieve an even level of precipitation throughout the irrigation system. The nozzles will deliver water at a minimum of 70% efficiency with a low precipitation rate that matches the infiltration rate of the soil.

The drip irrigation system will incorporate pressure compensating drip bubblers with 1/2" drip tubes to each plant which delivers water at 80% efficiency at an application rate that matches the soil type.



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**Parking Tree Canopy Shade Provided**

INTERIOR TREES 100%	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
Pistacia chinensis	10x707= 7,070 s.f.	N/A	N/A	N/A
<b>SHADE SUB-TOTAL</b>	7,070 s.f.	N/A	N/A	N/A

SOUTH PERIMETER TREES	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
Pistacia chinensis	N/A	N/A	7x354= 2,478 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	2,478 s.f.	N/A

WEST PERIMETER	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
Pistacia chinensis	N/A	N/A	3x354=1062 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	1,062	N/A

NORTH PERIMETER TREES	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
Pistacia chinensis	N/A	N/A	3x354= 1,062 s.f.	N/A
Quercus ilex	N/A	N/A	3x354= 1,062 s.f.	N/A
<b>15'-20' DIAMETER</b>				
Cercia candensis	N/A	N/A	4x157= 628 s.f.	N/A
<b>SHADE SUB-TOTAL</b>	N/A	N/A	2,752 s.f.	N/A

EAST PERIMETER	FULL	3/4	1/2	1/4
<b>30'-35' DIAMETER</b>				
Quercus ilex	N/A	N/A	5x354= 1,770 s.f.	N/A
Pistacia chinensis	4x707= 2,828 s.f.	N/A	N/A	N/A
<b>SHADE SUB-TOTAL</b>	2,828 s.f.	N/A	1770 s.f.	N/A

**Shade Calculations**

Minimum 50% Tree Shade Coverage Required at Maturity		
Paved Parking Area: 32,522 s.f.	Total Shade Provided: 17,960 s.f.	Shade Percentage: 56%
Paved Parking Area: 32,522 s.f.	Total Interior Planting: 2,970 s.f.	Planting Area Percentage: 9%





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### Planting Legend

Planting Legend	Planting Legend	Water Use
<b>CANOPY TREE (Selection Options):</b> Pistacia chinensis Quercus ilex Quercus lobata Sinus molle	<b>24" Box</b> CHINESE PISTACHE HOLLY OAK VALLEY OAK CALIFORNIA PEPPER	Low Low Low Low
<b>SMALL ACCENT TREE (Selection Options):</b> Cercis occidentalis Arbutus 'Marina'	<b>24" Box</b> WESTERN REDBUD NCN	Low Low
<b>LARGE SHRUB (Selection Options):</b> Arbutus unedo Arctostaphylos spp. Ceanothus 'Dark Star' Lavatera assurgentiflora Rhus ovata Rhamnus californicum	<b>15-Gal</b> STRAWBERRY TREE MANZANITA WILD LILAC TREE MALLOW SUGAR BUSH COFFEEBERRY	Low Low Low Moderate Low Low

<b>MEDIUM SHRUB (Selection Options):</b> Callistemon v. 'Little John' Diels irridioides Lavandula spp. Phormium t. 'Bronze Baby' Pittosporum spp. Rhopilepis umbelata Salvia leucantha Teucrium fruticans	<b>5-Gal</b> BOTTLEBRUSH FORTNIGHT LILY LAVENDER DWARF NEW ZEALAND FLAX PITTOSPORUM INDIA HAWTHORN MEXICAN SAGE BUSH GERMANDER	Low Low Low Low Moderate Low Low Low
<b>SUB SHRUB (Selection Options):</b> Hemerocallis Scaevola 'Mauve Clusters' Lavandula a. 'Blue cushion' Teucrium chamaedrus	<b>1-Gal</b> DAY LILY SCAEVOLA LAVANDER GERMANDER	Moderate Low Low Low
<b>GROUND COVER (Selection Options):</b> Native No Mow Meadow Grass Baccharis p. 'Pigeon Point' Ceanothus m. 'Valley Violet'	<b>1-Gal &amp; Liners</b> SOD (Delta Bluegrass) COYOTE BUSH NCN	Low Low Low

TOTAL TRACTOR SUPPLY LANDSCAPE AREA: 33,195 S.F.  
TOTAL FACTRUST LANDSCAPE AREA: 23,830 S.F.

### WATER EFFICIENT LANDSCAPE STATEMENT

The irrigation system shall be designed to meet current water efficient standards and State Water Efficient Ordinance AB 1881 as required by local jurisdictions while achieving the goal of effectively providing the landscape with water by the means of high efficiency spray irrigation to the turf and ground cover areas and drip irrigation bubblers to restrict shrub planting and shrub mass planting area as applicable.

Irrigation systems shall be designed to accommodate recycled water where available either currently or in the future as directed by the Local Water Purveyor. Recycled water systems shall be designed in accordance with Local and State codes.

Irrigation systems for landscapes greater than 5,000 SF shall have a dedicated water meter for irrigation.

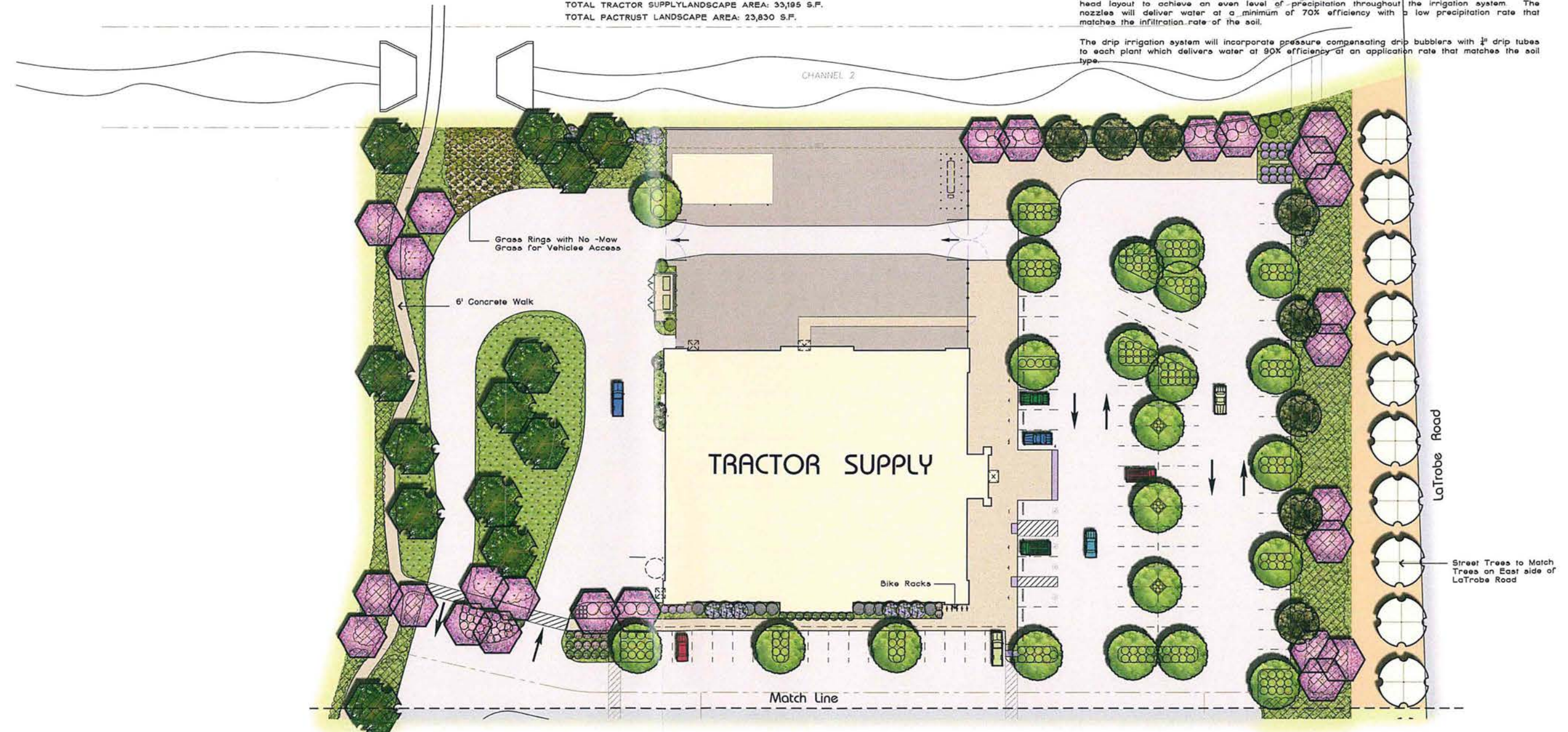
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Tree bubblers shall be included on separate circuits to isolate the irrigation to trees and provide deep watering to promote a deeper root zone.

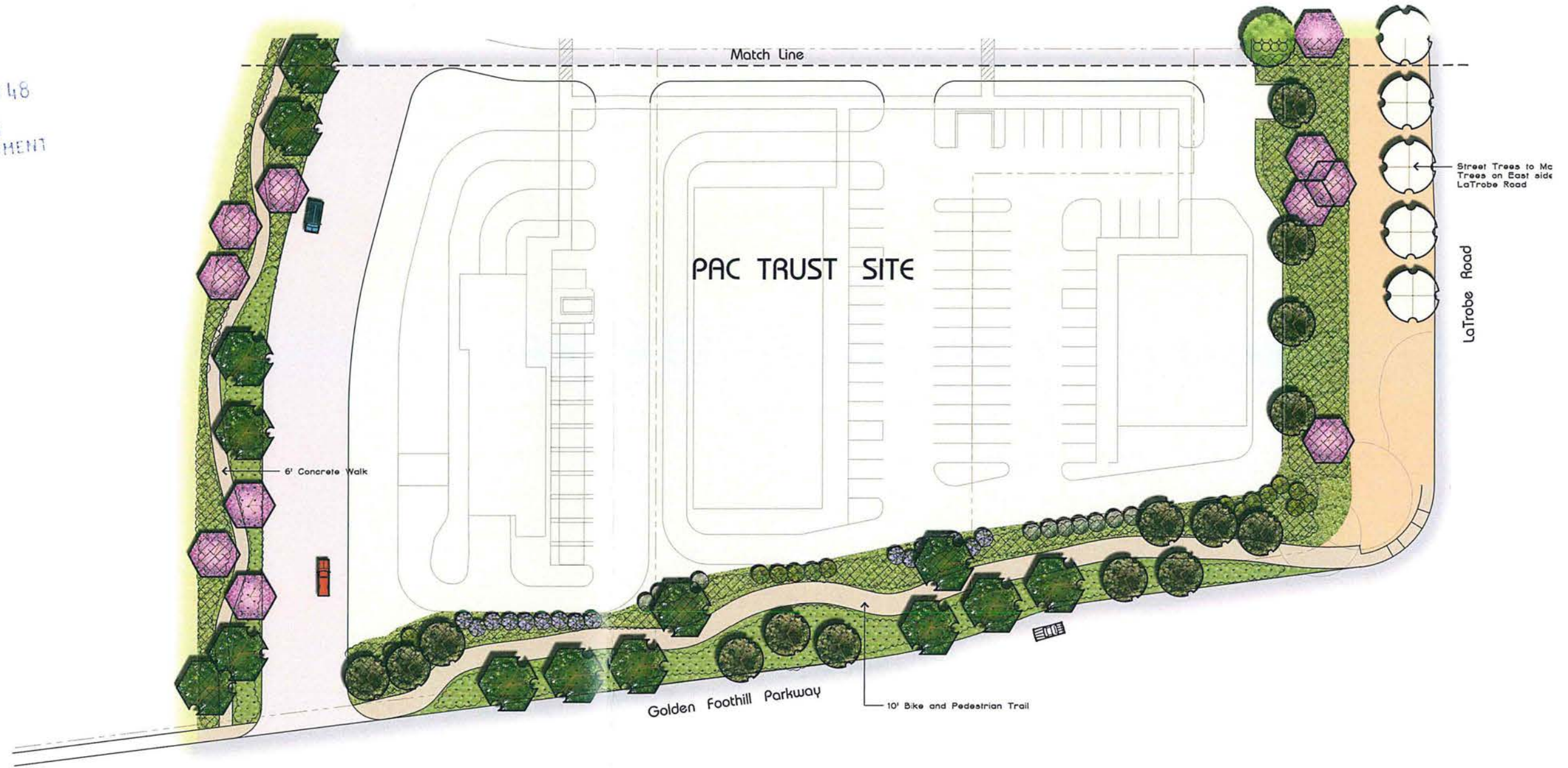
Spray irrigation systems for ground cover areas greater than 8' wide in any direction shall be designed with commercial series spray heads with high efficiency nozzles that include internal check valves and pressure compensating devices. The heads shall be designed in a head to head layout to achieve an even level of precipitation throughout the irrigation system. The nozzles will deliver water at a minimum of 70% efficiency with a low precipitation rate that matches the infiltration rate of the soil.

The drip irrigation system will incorporate pressure compensating drip bubblers with 1/2" drip tubes to each plant which delivers water at 90% efficiency of an application rate that matches the soil type.





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**Parking Tree Canopy Shade Provided**

TREE	FULL	3/4	1/2	1/4
30'-35' DIAMETER				
Quercus ilex	N/A	N/A	5x354= 1,770 s.f.	N/A
Platanus chinensis	22x707= 15,554 s.f.	N/A	N/A	N/A
<b>SHADE SUB-TOTAL</b>	<b>15,554 s.f.</b>	<b>N/A</b>	<b>1,770 s.f.</b>	<b>N/A</b>

**Shade Calculations**

Minimum 50% Tree Shade Coverage Required at Maturity		
Paved Parking Area: 33,769 s.f.	Total Shade Provided: 17,324 s.f.	Shade Percentage: 51%



TREES:

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Quercus Lobata



Quercus ilex



Schinus molle



Pistacia chinensis



Cercis occidentalis



Arbutus 'Marina'

SHRUBS:



Arbutus u. 'Oktoberfest'



Ceanothus 'Dark Star'



Lavatera asurgentiflora



Rhamnus californica



Callistemon 'Little John'



Dietes bicolor



Lavandula 'Blue cushion'



Phormium 'Bronze Baby'



Pittosporum t. 'Varigata'



Rhamphiolepis u. 'Minor'



Salvia leucantha



Teucrium



Hemerocallis



Scaevola 'Mauve Clusters'



Teucrium chamaedrus

GROUND COVER:



No Mow Grass



Baccharis p. 'Pigeon Point'



Ceanothus m. 'Valley Violet'



Bike Rack



+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +10'-0" B.O. BEAM  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING

**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

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+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +0'-0" F.F. #1

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +10'-0" B.O. BEAM  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

+30'-0" T.O. PARAPET  
 +28'-0" T.O. PARAPET  
 +20'-0" T.O. LEDGER  
 +11'-0" B.O. AWNING  
 +4'-4" T.O. WANGSCOT  
 +0'-0" F.F. #1

**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



BODY COLOR:  
 SHERWIN WILLIAMS:  
 #7532 URBAN PUTTY



SECONDARY COLOR:  
 SHERWIN WILLIAMS:  
 #7513 SANDERLING



TRIM COLOR:  
 SHERWIN WILLIAMS:  
 #7505 MANOR HOUSE



"MBCI" FASCIA TRIM:  
 COLONIAL RED



STONE VENEER:  
 EL DORADO STONE  
 LIMESTONE - SAVANNAH



"MBCI" CORRUGATED /  
 STANDING SEAM:  
 COLONIAL RED



"MBCI" CORRUGATED /  
 STANDING SEAM:  
 GALVALUME PLUS



CANOPY / AWNING FRAME:  
 POWDER COATED  
 COLONIAL RED

PROPOSED NEW DEVELOPEMENT:  
**TRACTOR SUPPLY Co.**  
 Golden Foothill Parkway  
 El Dorado Hills, CA.

SHEET INDEX	
ARCHITECTURAL	
A1	COVER SHEET / COLORED ELEVATIONS
A2	SITE PLAN
A3	FLOOR PLAN
A4	ELEVATIONS
A5	FORAGE SHED
LANDSCAPE	
1	PRELIMINARY PLANTING PLAN
2	PRELIMINARY PLANTING PLAN
3	PRELIMINARY PLANTING IMAGES



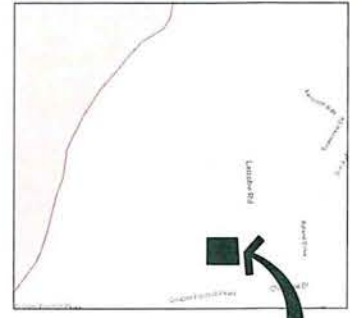
ARCHITECTURE PLUS INC.  
 4335-B NORTH STAR WAY  
 MODESTO, CA 95356

ph. 209.577.4661  
 fx. 209.577.0213  
 www.apiarc.com

SHEET:  
**A1**  
 OF 5

**CUP20-0009**





**VICINITY MAP**

PROJECT LOCATION  
GOLDEN FOOTHILL PARKWAY  
EL DORADO HILLS, CA

**PROJECT TEAM**

DEVELOPER:  
EL DORADO HILLS RETAIL GROUP, LLC  
PO BOX 5347  
SANTA ROSA, CA 95402  
PHONE: (707) 483-3127  
CONTACT: BRAD YUST

ARCHITECT:  
API  
4335-B NORTH STAR WAY  
MODESTO, CA 95356  
(209) 577-4661  
CONTACT: JOSEPH L. SMITH

**SITE DATA**

TSC SITE ± 136,438 S.F. (± 3.13 AC)

**BUILDING/PARKING DATA**

RETAIL BUILDING = 19,034 S.F.  
PARKING REQUIRED - RETAIL = 75 STALLS  
1 SPACE PER 200 SF AUA = 2 STALLS  
1 SPACE PER REGISTER = 4 STALLS  
1 SPACE PER 400 S.F. STOR. = 81 STALLS  
TOTAL REQUIRED = 81 STALLS

PARKING PROVIDED = 38 STALLS  
TSC STANDARD (75) = 29 STALLS  
CITY OF EL DORADO HILLS STANDARD (5) = 4 STALLS  
CLEAN AIR/VAN POOL/EV (CA) = 3 STALLS  
EXTENDED = 82 STALLS  
TOTAL = 82 STALLS

MOTORCYCLE PARKING = 56 S.F.  
BICYCLE PARKING = 9 OR 5 DOUBLE SIDED RACKS  
PARKING RATIO PROVIDED = 1/232 S.F.

**DISPLAY AREAS**

FENCED OUTDOOR DISPLAY = 14,191 S.F.  
PERMANENT SIDEWALK DISPLAY = 1,593 S.F.  
PERMANENT TRAILER & EQUIPMENT DISPLAY = 3,509 S.F.  
TOTAL DISPLAY AREA = 21,293 S.F.

**PROPOSED NEW DEVELOPMENT:**

**TRACTOR SUPPLY Co.**

Golden Foothill Parkway  
El Dorado Hills, CA.

PLANNING ARCHITECTURE



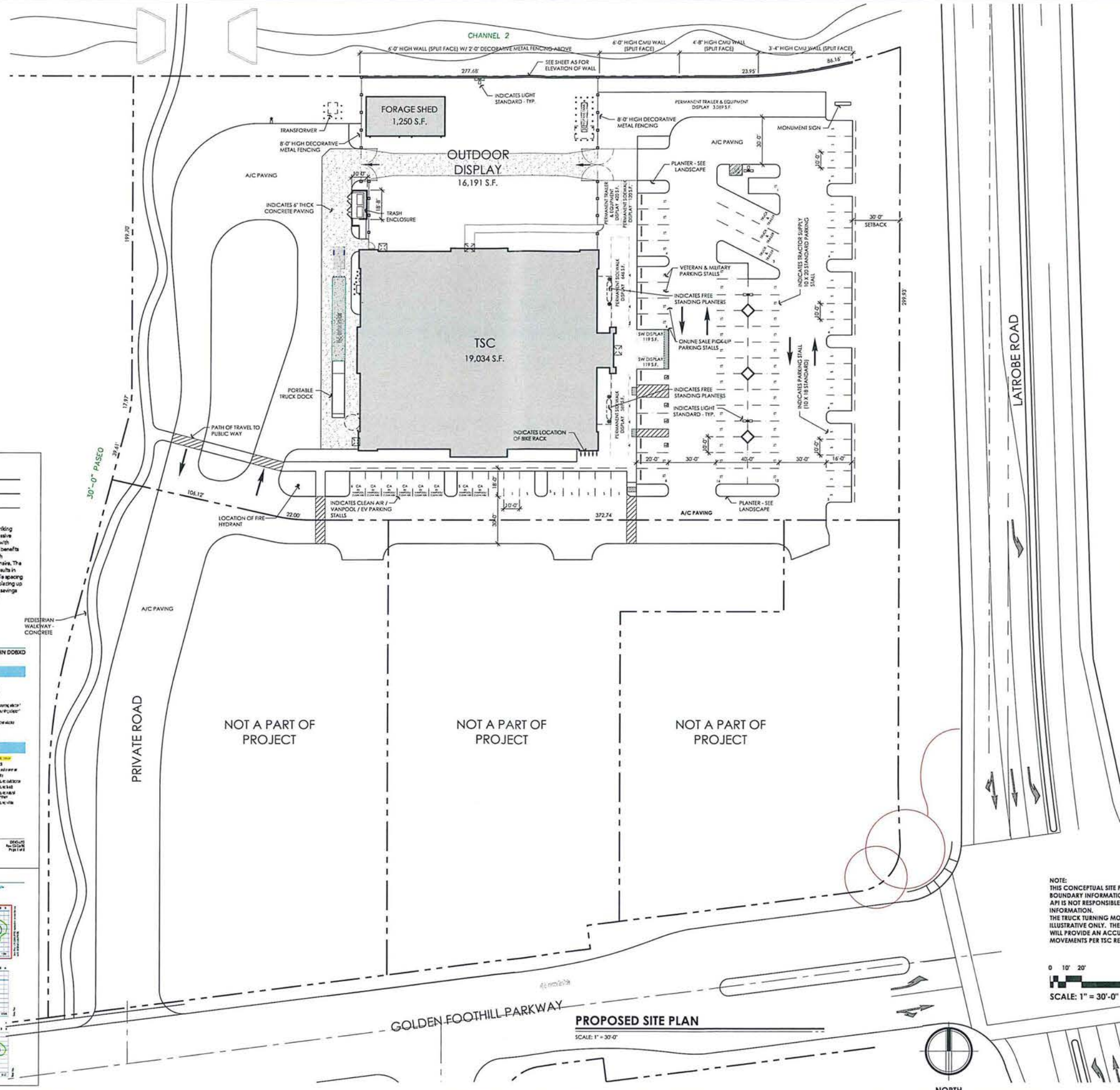
ARCHITECTURE PLUS INC.  
4335-B NORTH STAR WAY  
MODESTO, CA 95356

ph. 209.577.4661  
fx. 209.577.0213

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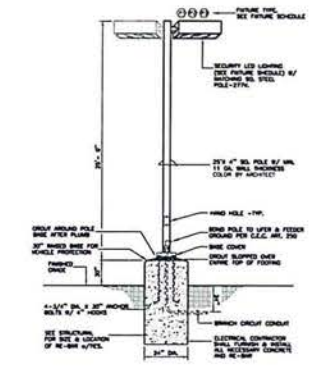
SHEET:

**A2**  
OF 5

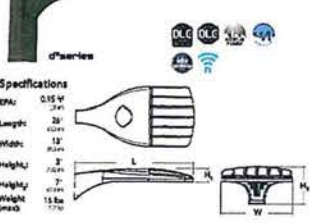


**TYPICAL LIGHT STANDARD**

SCALE: 1/4" = 1'-0"



**D-Series Size 0 LED Area Luminaire**



**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

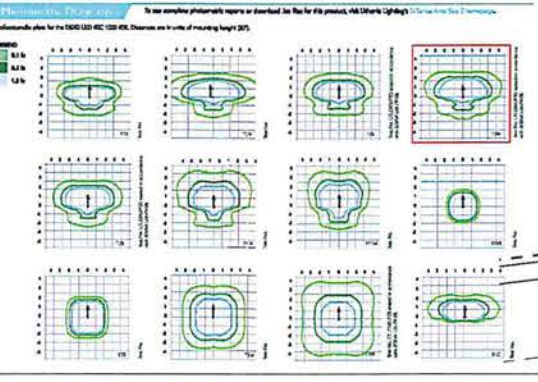
**Ordering Information**

EXAMPLE: DSKD LED P6 40K TDM MVOLT SPA NLTAR2 PIRIN D0BK0

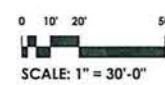
Code	Description	Options	Notes
DSK	DSK Series		
LED	LED Luminaire		
P6	6' Pole		
40K	40,000 Lumens		
TDM	TDM Technology		
MVOLT	MVOLT Technology		
SPA	Standard Pole Arm		
NLTAR2	NLTAR2 Luminaire		
PIRIN	PIRIN Luminaire		
D0BK0	D0BK0 Luminaire		

Code	Description	Options	Notes
DSK	DSK Series		
LED	LED Luminaire		
P6	6' Pole		
40K	40,000 Lumens		
TDM	TDM Technology		
MVOLT	MVOLT Technology		
SPA	Standard Pole Arm		
NLTAR2	NLTAR2 Luminaire		
PIRIN	PIRIN Luminaire		
D0BK0	D0BK0 Luminaire		

**LITHONIA LIGHTING**  
One University • Clayton, Georgia 30516 • Phone 1-800-955-6176 • Fax 770-287-1100  
© 2014 Lithonia Lighting, Inc. All rights reserved. DSKD LED P6 40K TDM MVOLT SPA NLTAR2 PIRIN D0BK0

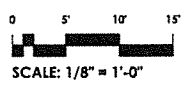
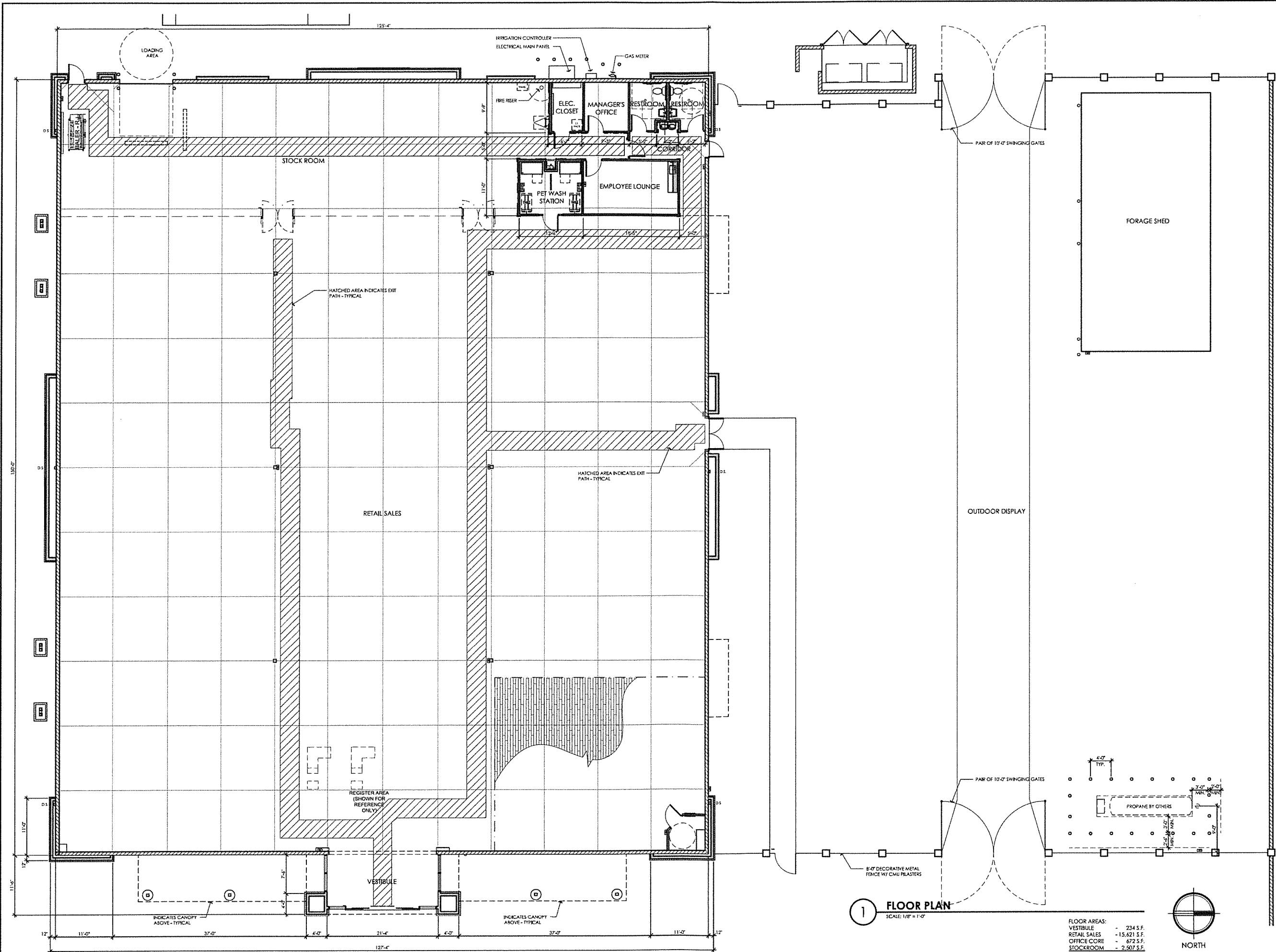


NOTE: THIS CONCEPTUAL SITE PLAN WAS DEVELOPED WITH SITE BOUNDARY INFORMATION PROVIDED BY THE OWNER. API IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS INFORMATION. THE TRUCK TURNING MOVEMENTS SHOWN ARE ILLUSTRATIVE ONLY. THE CIVIL ENGINEER OF RECORD WILL PROVIDE AN ACCURATE TRUCK PATH / MOVEMENTS PER TSC REQUIREMENTS.



GOLDEN FOOTHILL PARKWAY  
**PROPOSED SITE PLAN**  
SCALE: 1" = 30'-0"





PROPOSED NEW DEVELOPMENT:  
**TRACTOR SUPPLY Co.**  
 Golden Foothill Parkway  
 El Dorado Hills, CA.

PLANNING ■■■  
 ARCHITECTURE ■■■

**api**

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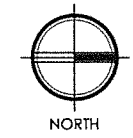
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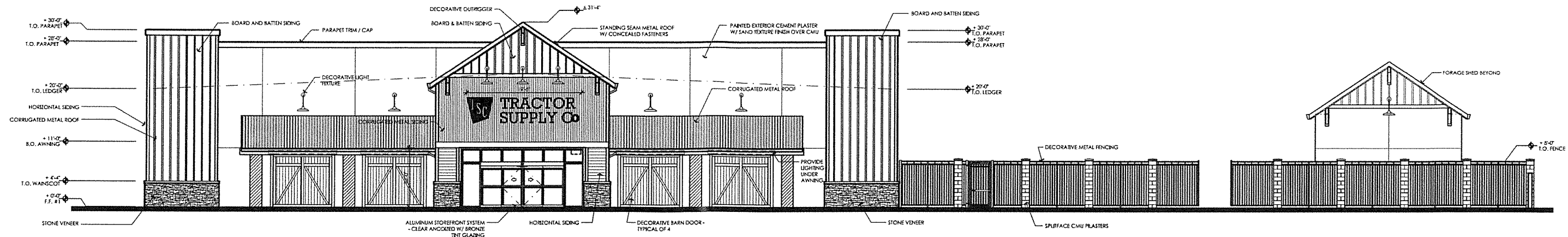
**A3**  
 OF 5

**1 FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

FLOOR AREAS:

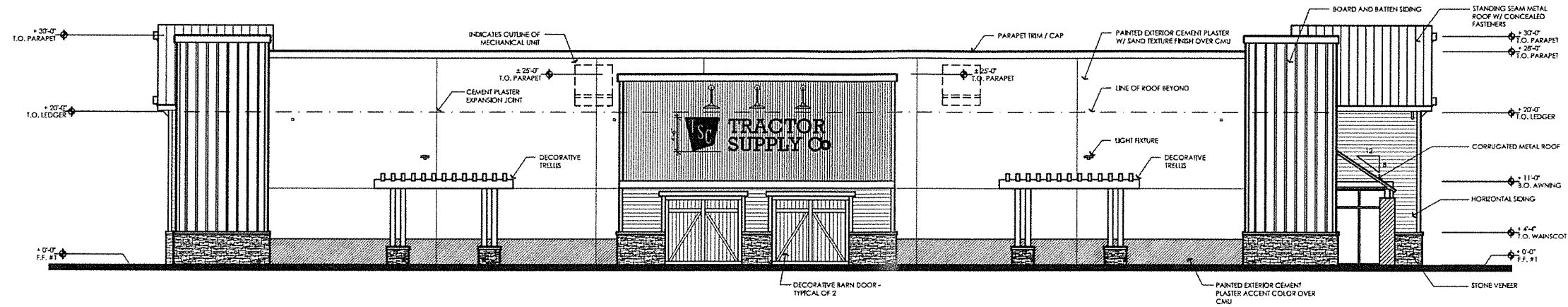
VESTIBULE	- 234 S.F.
RETAIL SALES	- 15,621 S.F.
OFFICE CORE	- 672 S.F.
STOCKROOM	- 2,507 S.F.
TOTAL	- 19,034 S.F.





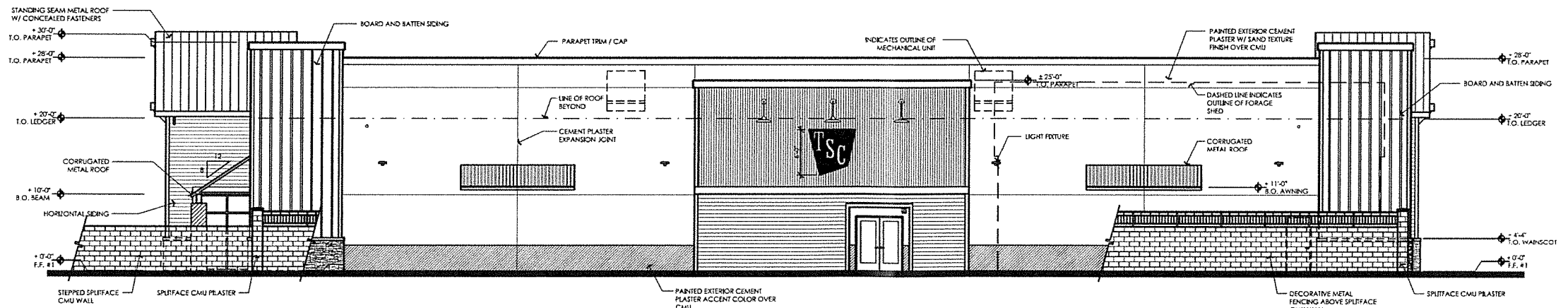
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



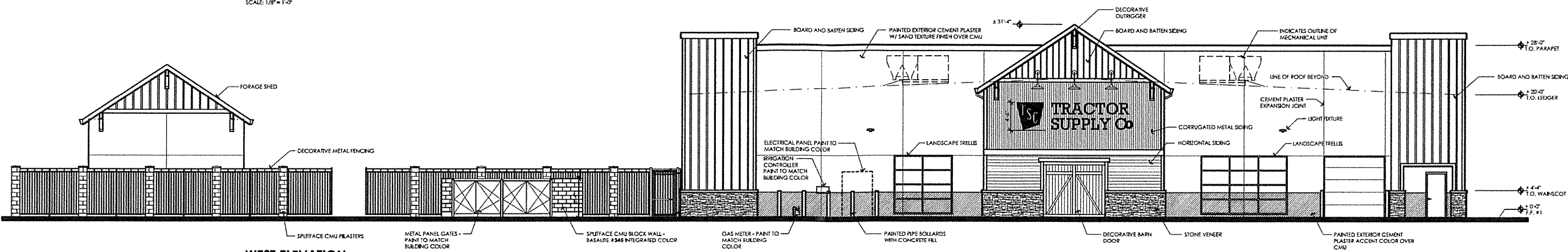
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



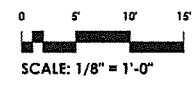
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

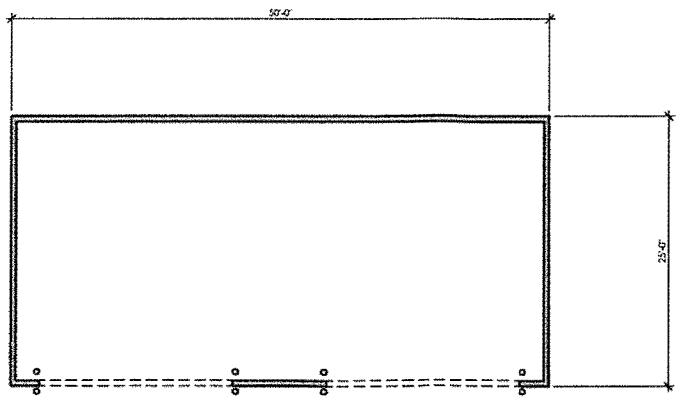
SCALE: 1/8" = 1'-0"



PROPOSED NEW DEVELOPEMENT:  
**TRACTOR SUPPLY Co.**  
 Golden Foothill Parkway  
 El Dorado Hills, CA.

PLANNING ■■■  
 ARCHITECTURE ■■■  
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SHEET:  
**A4**  
 OF 5



**FORAGE SHED FLOOR PLAN**

SCALE: 1/8" = 1'-0"

FLOOR AREA:  
FLOOR = 1,250 S.F.



**CODE REVIEW:**

JURISDICTION: CITY OF EL DORADO HILLS  
 OCCUPANCY TYPE: S-1  
 CONSTRUCTION TYPE: V-8  
 FIRE SPRINKLERS: NO  
 APPLICABLE CODES: 2019 C.B.C., C.M.C., C.F.C., C.E.C., C.F.C., C.G.S.C., TITLE 24, PART 4, 2019 CALIFORNIA ENERGY CODE AND APPLICABLE STATE AND LOCAL REGULATIONS.

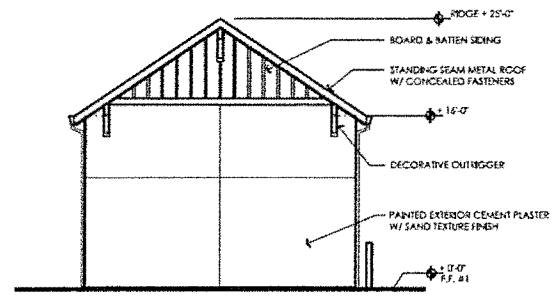
OCCUPANCY TYPE: S1  
 CONSTRUCTION TYPE: V-8

FLOOR AREA (ACTUAL)

BUILDING FOOTPRINT: 1,250 S.F.

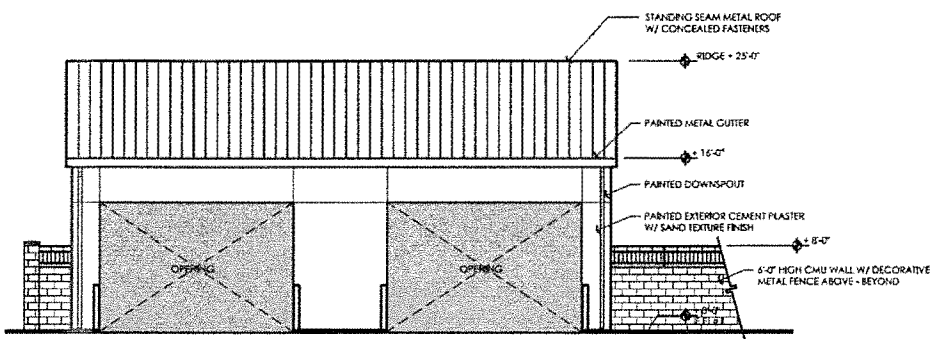
ALLOWABLE AREA: PER CBC TABLE 504.2, S-1, V-8, BASIC ALLOWABLE 9,000 S.Q. F.T.

TOTAL BUILDING AREA = 1,250 S.F. : OK



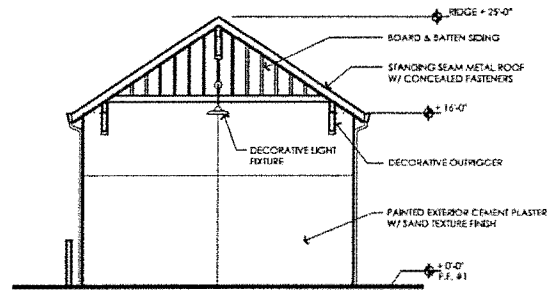
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



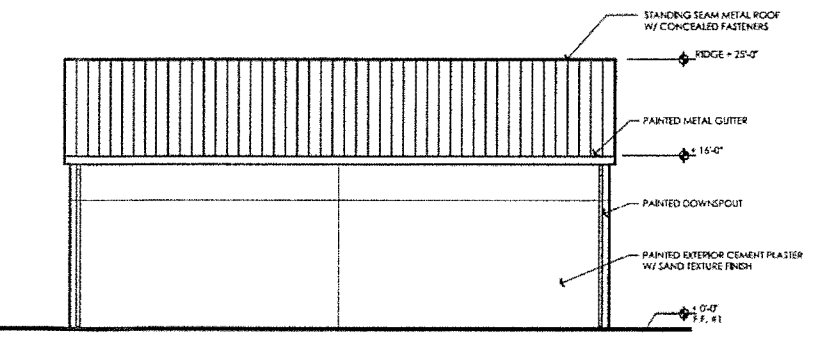
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



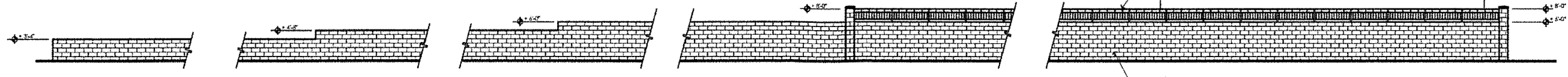
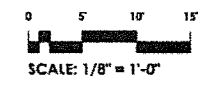
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - WALL**

SCALE: 1/8" = 1'-0"

**PROPOSED NEW DEVELOPEMENT:**

**TRACTOR SUPPLY Co.**

Golden Foothill Parkway  
El Dorado Hills, CA.

PLANNING ARCHITECTURE



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SHEET:

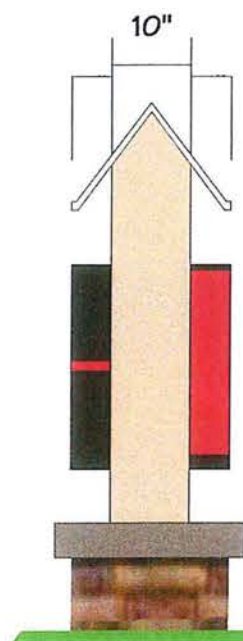
**A5**

OF 5

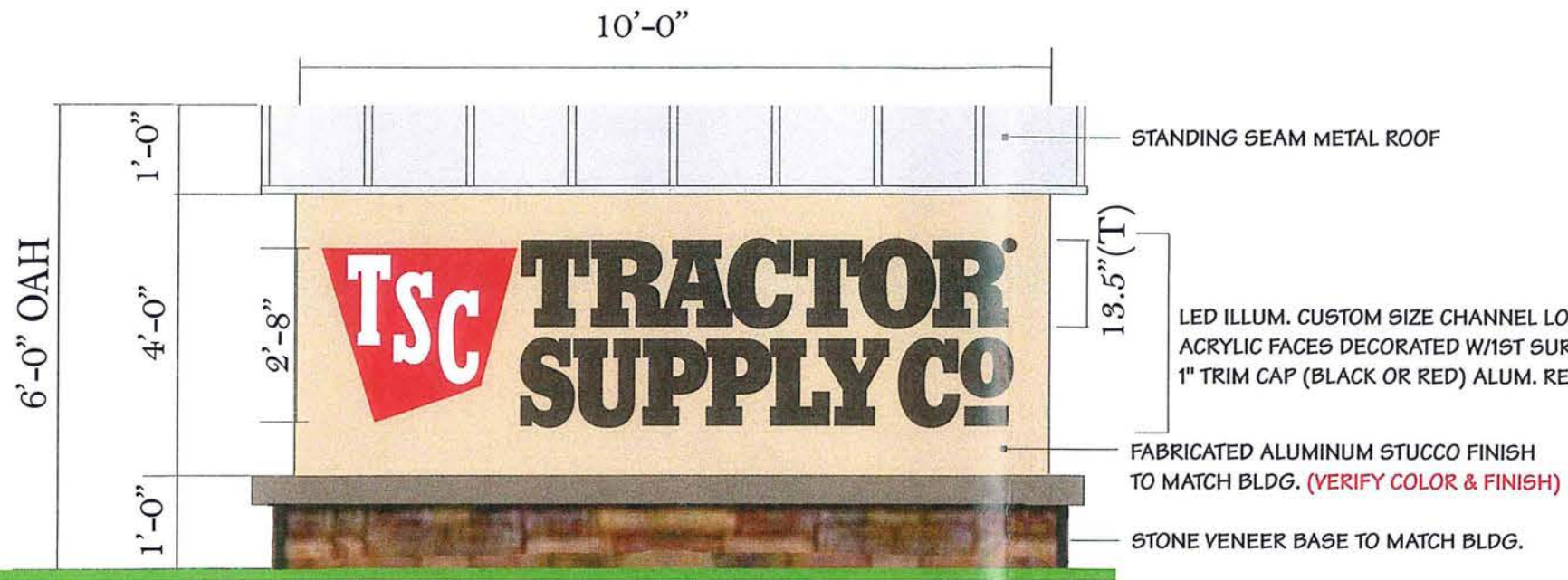


CONCEPTUAL ONLY

MONUMENT SIGN - CUSTOM



SIDE VIEW



FRONT VIEW

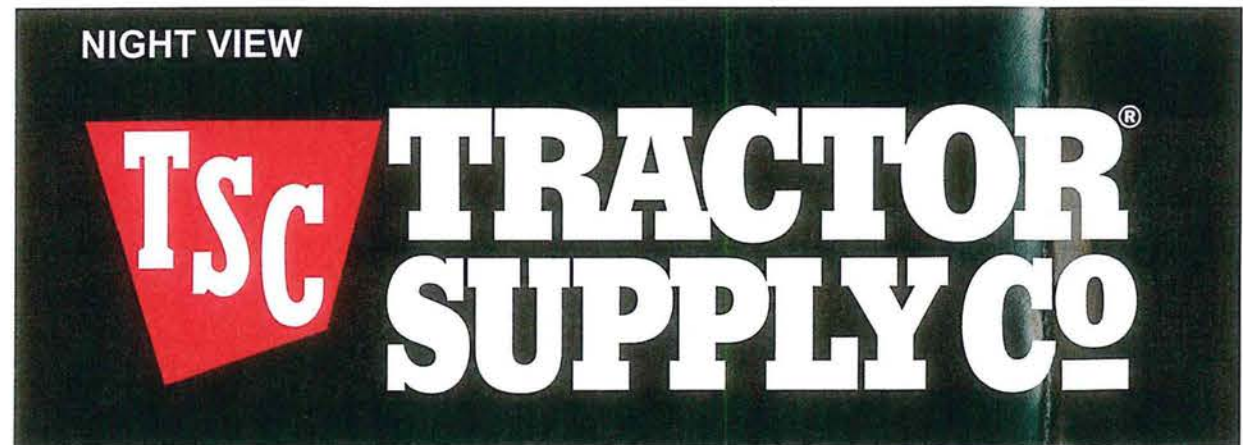
-  3M 3632-33 RED VINYL
-  BLACK VINYL (PERFORATED TO ILLUM. WHITE AT NIGHT)
-  WHITE VINYL

STANDING SEAM METAL ROOF

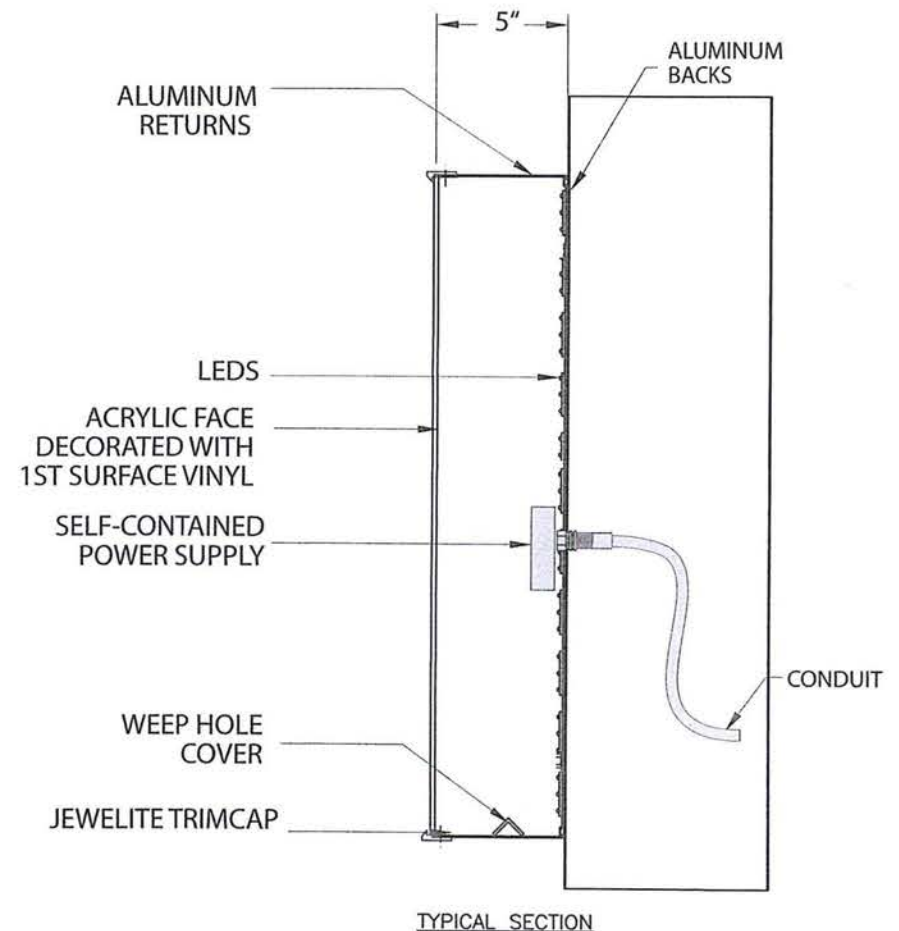
13.5" (T)  
LED ILLUM. CUSTOM SIZE CHANNEL LOGO & LETTER SET  
ACRYLIC FACES DECORATED W/1ST SURFACE VINYL.  
1" TRIM CAP (BLACK OR RED) ALUM. RETURNS (BLACK OR RED)

FABRICATED ALUMINUM STUCCO FINISH  
TO MATCH BLDG. (VERIFY COLOR & FINISH)

STONE VENEER BASE TO MATCH BLDG.



NIGHT VIEW



TYPICAL SECTION

TOTAL SIGN AREA: 40 SQ. FT.

Job Location: Latrobe Rd and Golden Foothill Pkwy, El Dorado Hills, Ca.