

# DEVELOPMENT SERVICES DEPARTMENT

COUNTY OF EL DORADO


<http://www.edcgov.us/devservices>



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TO: Roger Trout, Development Services Director  
Tiffany Schmid, Principal Planner

FROM: Mel Pabalinas, Senior Planner 

DATE: July 6, 2015

RE: Administrative Modification to Carson Creek Development Standards  
SP94-0002-R

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## BACKGROUND

Section 4.4 of the Carson Creek Specific Plan (CCSP) details the development standards regulating the uses within the Single Family 6,000 square feet minimum (CC-6K) zone district. Under Site Development Standards section, the minimum front yard setback for a garage is 20 feet, which is assumed to be applicable to dwelling units with front load garages (Exhibit A).

## APPLICANT REQUEST

As allowed under Section 6 (Plan Administration) of the CCSP, the applicant (Lennar Homes of CA) is requesting an administrative modification to specific texts under Section 4.4 of the Carson Creek Specific Plan to include minimum front yard setback for a side load garage (Exhibit B). The applicant has three optional Floor Plans of dwelling units proposed to be constructed within the Carson Creek Unit 1 subdivision with a one-car side load garage (Exhibit C). As detailed in Exhibit D, the modified text would establish the minimum setback of 16 feet for side load garages and further clarify the setbacks for the front load garages. The applicant cites that adding this alternative design would add residential design variation to the street scene and enhance emphasize the architectural features of front elevation of the residences.

## SUMMARY ANALYSIS

The proposed text modifications are minor in nature, involve new information (side-load garage design) that was previously not contemplated in the CCSP, and do not change the effect any of the CCSP regulations or guidelines.

**RECOMMENDATION**

Staff recommends approval of the text modifications to Section 4.4 of the CCSP as detailed in the attached draft revisions to the section.

**EXHIBITS**

- A..... Section 4.4 of the Carson Creek Specific Plan (CCSP)
- B..... Applicant Request
- C..... Residential Floor Plans with Side Load Garage
- D..... Revised Section 4.4 of the Carson Creek Specific Plan  
(CCSP)

**CARSON CREEK SPECIFIC PLAN**  
**Sections 4.4 – CC6K**

**4.4 Single Family (6,000 sq. ft. min.)**

1. Permitted Uses:

The following uses are allowed by right, without special use permit:

**Primary Uses:**

One single family detached dwelling per lot

**Accessory Uses:**

Renting of not more than one room

Home Occupations such as accountant, advisor, appraiser, architect, artist, attorney, author, broker dressmaker, draftsman, handicrafts, insurance, photographer, therapist, musician, teacher and other similar occupations normally conducted by mail or telephone on the premises where the activities do not create a traffic problem, provided that instruction or consultation is not given to groups in excess of four and concerts or recitals are not held, and no display of goods is viable from the outside of the property, such use must be carried on in the main building and be incidental to the residential use of the premises and be carried on by a resident of the main dwelling.

In-home daycare, maximum 6 children

Non-commercial accessory uses and buildings, including such structures as a swimming pool, garage, or garden shed

Public utilities distribution lines

Public parks

Churches, temples, and other places of worship

**Uses permitted with a special use permit.** The following uses are permitted only after obtaining a special use permit from the Planning Commission:

Schools, non-commercial playgrounds

Non-profit membership clubs and associations

Public utilities buildings and structures other than distribution and transmission lines

Real estate office on or adjacent to properties for sale or fronting a road leading directly thereto, for the exclusive sale of property

Home occupations not listed above as permitted by right or which require special consideration due to the proposed use of power tools or accessory buildings, or due to potential noise generation. Such home occupations shall not be approved unless the Planning Commission finds that the use will not change the residential character of the premises, and will not adversely affect the other uses permitted in a residential area

Health facility

Community care facility

Senior related facilities including but not limited to congregate care, skilled nursing, assisted living. Public buildings and public utilities buildings of a type and nature deemed compatible with the purposes of this zone by the Planning Director.

## 2. Site Development Standards

**Minimum Lot Area:** 6,000 square feet

**Maximum Lot Coverage:** 50% for single story (including accessory buildings)  
40% for double story

**Minimum Lot Frontage:** Fifty feet (50') at building setback line

**Minimum Setbacks:** Front Yard: Sixteen feet (16') for home and twenty feet (20') for garage. Garages shall be set back a minimum of four feet (4') farther than the rest of the house.  
Rear Yard: Fifteen feet (15'). Garages must be located in the rear yard setback, but must be located at least three feet (3') from the rear property line. Where garages are facing alleys in the rear of the house, however, the garage may be located on the rear property line.  
Side Yard: Five feet (5'). Corner lots shall have a minimum twelve and ½ (12.5) feet on street side.

**Maximum Height:** Thirty feet (30') or 2 stories.

**Required Parking:** Two (2) spaces off street in a garage plus the equivalent of two (2) spaces on the driveway (tandem or side-by-side). If driveways are not provided, the developer must show that the equivalent of two (2) parking spaces per unit are available in guest parking areas or on the street. Recreational vehicles, boats, or commercial trucks shall not be parked or stored in driveways or in any exterior location on the lot.



March 13, 2015

Mr. Roger Trout  
El Dorado County Development Services Department  
2850 Fairlane Court, Building "C"  
Placerville, CA 95667

MAR 19 AM 11:37  
RECEIVED  
PLANNING DEPARTMENT

**RE: Carson Creek Specific Plan- Administrative Modification to Specific Plan Text**

Dear Roger:

Lennar Homes is requesting an Administrative Modification to the text of the Carson Creek Specific Plan regarding the front yard setbacks in the Single Family (6,000 sq. ft. min) Zone. The reason for the Administrative Modification is to add clarifying language to the front yard setbacks to allow the placement of a side-loaded garage at sixteen feet (16'). Currently, the front yard setback requirement is twenty feet (20') for all garages, however, side loaded garages were not defined. The proposed language also clarifies that a front loaded garage must be set back a minimum of four feet (4') behind the living area of the home when the living area of the home is located at the minimum front setback of sixteen feet (16').

The Carson Creek Specific Plan has provisions in the Plan Administration section of the Specific Plan to allow modifications to the text of the Specific Plan by the Planning Director. One of the provisions for allowance of a modification is the introduction of new information to the Specific Plan text that does not change the effect of any regulation or guideline. In regards to the front yard setback for garages in the SF 6000 Zone, we believe that a design option of a side-loaded garage is new information that was not contemplated when the Specific Plan was adopted.

Lennar Homes is proposing side-loaded garages as an option for some of the homes located in the SF 6000 Zone at Carson Creek. The homebuyer will have the option to choose either living area or a third, side-loaded garage bay on certain home plans. The living area or third, side-loaded garage bay is located at the sixteen (16") foot setback line. If the side-loaded garage was required to be set back at twenty feet (20'), the home would not fit on the lot. As a design feature, a side-loaded garage is an excellent way to enhance the appearance of the front elevation of the home by de-emphasizing the garage door and emphasizing the architectural features of the home elevation such as windows, siding, stone, and shutters. Many architects and design review professionals encourage side-loaded garages as a way to enhance and add diversity to the street scene of a community. Many communities have provisions to allow side-loaded garages at a setback consistent with the living area setback. Also,

1420 Rocky Ridge Drive • Suite 320 • Roseville, CA 95661

LENNAR.COM SP 94-0002-R  
EXHIBIT B

providing the option for either additional living area or an additional garage bay allows homebuyers the choice of homes that fit their lifestyles and needs. Side-loaded garage/living area options are allowed at a sixteen (16') setback in SFHD portion of Carson Creek so the modification request will make the homes in the SF 6000 consistent with the other Lennar homes at Carson Creek.

Included with this letter is the proposed language shown in red and several examples of home plans with side-loaded garages/living area options that Lennar Homes would like to build at Carson Creek. The elevations of these home plans show the enhancement to the appearance of the home and benefit of allowing side'-loaded garages at the sixteen foot (16') set back. We appreciate your consideration of this request and please feel free to contact us should you have any questions or comments.

Sincerely,

Lennar Homes

A handwritten signature in black ink that reads "Don Barnett". The signature is written in a cursive, flowing style.

Don Barnett  
Community Planning Manager

Cc: Lillian Macleod, Rommel Pabalinas

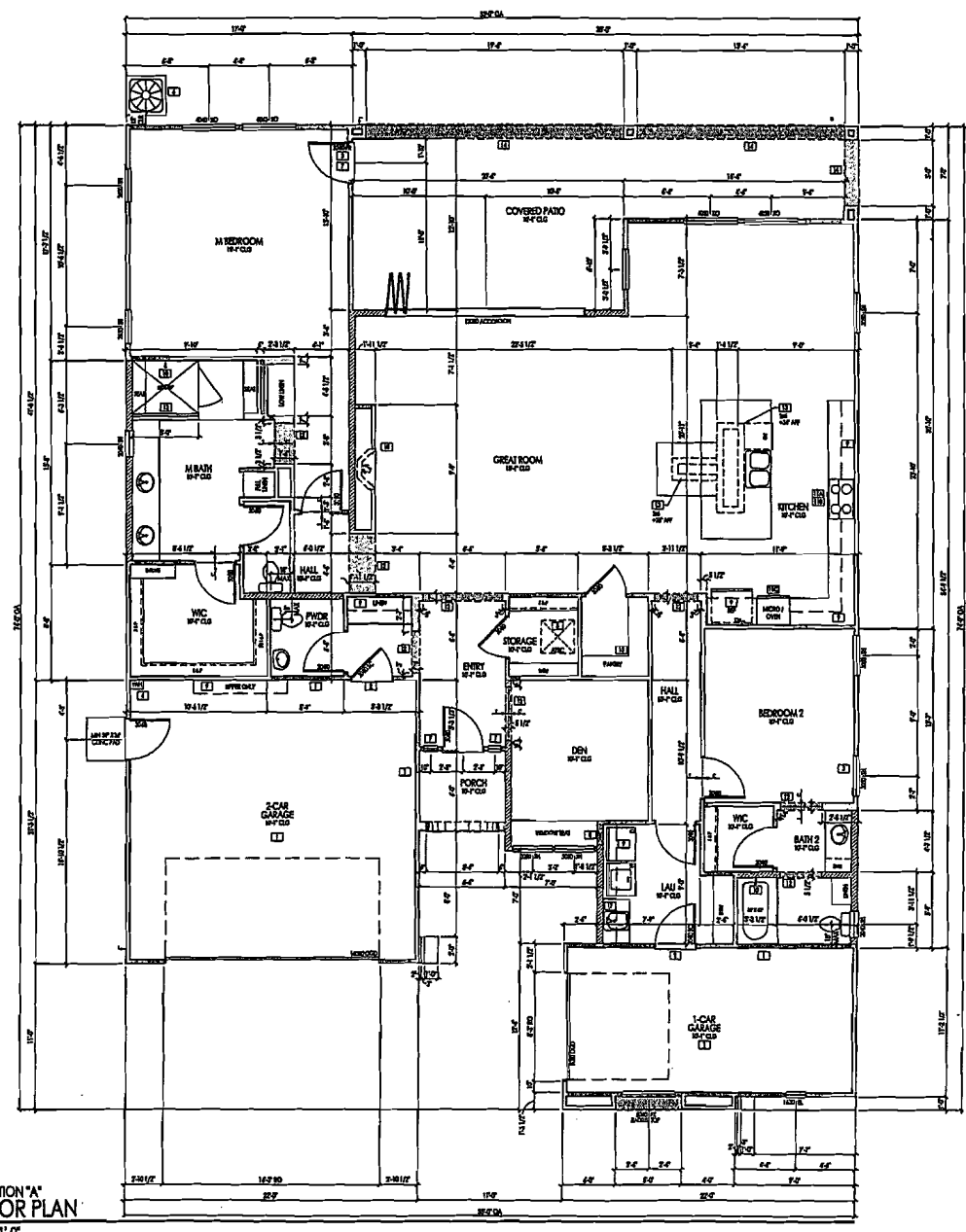
Proposed addition of language to the Carson Creek Specific Plan- 4.4  
Single Family (6,000 sq. ft. min.)

New language shown in red

Minimum Setbacks: Front Yard: Sixteen feet (16') for home or side loaded garages and twenty feet (20') for front loaded garages. Front loaded garages must be set back a minimum of four feet (4') farther than the rest of the house when the living area portion of the house is located at the minimum front set back of sixteen feet (16').

RECEIVED  
 11/19/2015

ELEVATION "A"  
 FLOOR PLAN  
 1/4" = 1'-0"



- Sheet Notes:**
1. THE FLOOR SHALL BE FINISHED IN ALL COVERED SPACES (EJC SECTION 0511).
  2. ALL EXTERIOR WALLS TO BE 8" THICK CMU.
  3. WOODYEAH FLOOR.
  4. ALL DOORS TO BE OPENED FROM ALTHOUGH WALL OR DOOR JAMB TO BE FINISHED AT FINISH FLOOR FINISH.
  5. PROVIDE BACKING FOR ALL WOODWARE FINISH PANELS.
  6. REFER TO BIDDING PLAN FOR INFORMATION AND SHOW ON FINAL FLOOR PLAN. WINDOW WALLS ON FINAL FLOOR PLAN INDICATE FINISH WINDOW WALLS ON FINAL FLOOR PLAN.

- Floor Plan Keynotes:**
1. FINISH WALLS AND PARTITIONS SHALL BE FINISHED WITH 5/8" Gypsum Board (1/2" LATH) ON STEEL STUDS. FINISH WALLS SHALL BE FINISHED WITH 5/8" Gypsum Board (1/2" LATH) ON STEEL STUDS. FINISH WALLS SHALL BE FINISHED WITH 5/8" Gypsum Board (1/2" LATH) ON STEEL STUDS.
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| Plan 1 Floor Area        |              |
|--------------------------|--------------|
| LIVING AREA:             | 2405 SQ. FT. |
| FLOOR LIVING:            | 2405 SQ. FT. |
| TOTAL LIVING AREA:       | 2405 SQ. FT. |
| OTHER AREAS:             |              |
| 2-CAR GARAGE:            | 447 SQ. FT.  |
| 1-CAR GARAGE "A" & "B":  | 247 SQ. FT.  |
| FRONT "A" PORCH:         | 22 SQ. FT.   |
| FRONT "B" PORCH:         | 20 SQ. FT.   |
| 1-CAR GARAGE "C":        | 289 SQ. FT.  |
| COVERED PORCH "A" & "B": | 25 SQ. FT.   |
| COVERED PORCH "C":       | 25 SQ. FT.   |
| COVERED PATIO:           | 404 SQ. FT.  |



Heritage  
 El Dorado Hills 65  
 County of El Dorado, California



JDA Job Number: 14277

| Sheet Revisions |                      |
|-----------------|----------------------|
| 1               | ISSUE 1 - COMPLETE   |
| 2               | ISSUE 2 - REVISIONS  |
| 3               | ISSUE 3 - REVISIONS  |
| 4               | ISSUE 4 - REVISIONS  |
| 5               | ISSUE 5 - REVISIONS  |
| 6               | ISSUE 6 - REVISIONS  |
| 7               | ISSUE 7 - REVISIONS  |
| 8               | ISSUE 8 - REVISIONS  |
| 9               | ISSUE 9 - REVISIONS  |
| 10              | ISSUE 10 - REVISIONS |
| 11              | ISSUE 11 - REVISIONS |
| 12              | ISSUE 12 - REVISIONS |
| 13              | ISSUE 13 - REVISIONS |
| 14              | ISSUE 14 - REVISIONS |
| 15              | ISSUE 15 - REVISIONS |
| 16              | ISSUE 16 - REVISIONS |
| 17              | ISSUE 17 - REVISIONS |
| 18              | ISSUE 18 - REVISIONS |
| 19              | ISSUE 19 - REVISIONS |
| 20              | ISSUE 20 - REVISIONS |

PLAN 1 (2405)  
 PLAN 1X (2474)  
 FLOOR PLAN  
 Sheet Number:  
**A3.1**

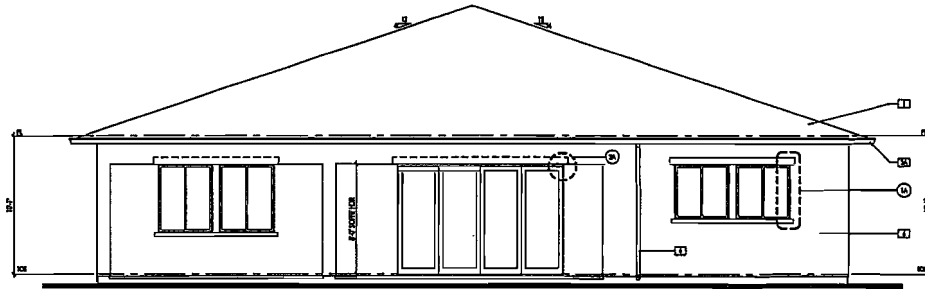
PLAN 1

SP 94-0002-R  
 EXHIBIT C

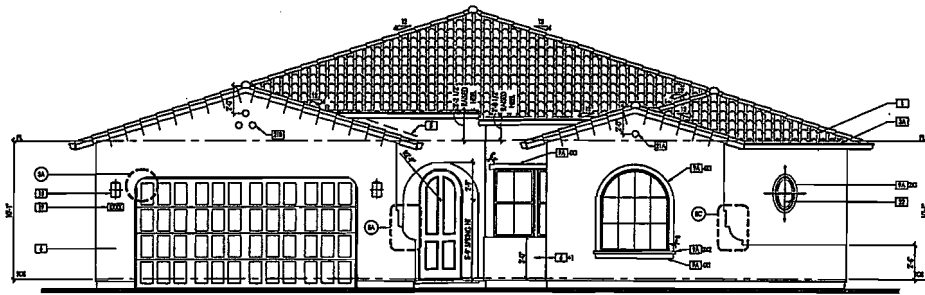




PLANS AND ELEVATIONS  
 PROVIDED  
 FOR INFORMATION ONLY



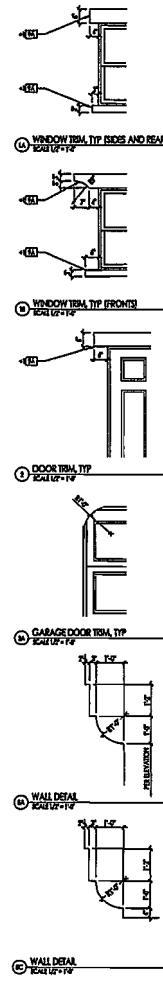
'PASADENA' (BARREL TILE)  
 REAR ELEVATION "A"  
 1/4" = 1'-0"



'PASADENA' (BARREL TILE)  
 FRONT ELEVATION "A"  
 1/4" = 1'-0"

**Elevation Design Details:**

THE FOLLOWING DETAILS COVER DESIGN FROM EXTERIOR TO INTERIOR DETAILS FOR FINISH CONNECTIONS UNLESS NOTED OTHERWISE.



**Sheet Notes:**

1. FINISH AND OTHER ELEVATIONS SHOW ONLY THE MATERIALS AND SHALL REFER TO THE FINISH OR CONNECTIONS LIST TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
2. WINDOW TYP. REARS:
  - A. 10' FLOOR = 8' AFF. FINISH
  - B. 10' FLOOR = 8' AFF. FINISH
3. WINDOW TYP. FRONT:
  - A. 10' FLOOR = 8' AFF. FINISH
  - B. 10' FLOOR = 8' AFF. FINISH
4. DOOR TYP.:
  - A. 10' FLOOR = 8' AFF. FINISH
  - B. 10' FLOOR = 8' AFF. FINISH
5. GARAGE DOOR TYP.:
  - A. 10' FLOOR = 8' AFF. FINISH
  - B. 10' FLOOR = 8' AFF. FINISH
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  - B. 10' FLOOR = 8' AFF. FINISH
7. WALL DETAIL REAR:
  - A. 10' FLOOR = 8' AFF. FINISH
  - B. 10' FLOOR = 8' AFF. FINISH

**Elevation Keynotes:**

1. FINISH AND OTHER ELEVATIONS SHOW ONLY THE MATERIALS AND SHALL REFER TO THE FINISH OR CONNECTIONS LIST TO BASE ELEVATION FOR INFORMATION NOT SHOWN.
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  - B. 10' FLOOR = 8' AFF. FINISH



Heritage  
 El Dorado Hills 65  
 County of El Dorado, California



2/16/2015 BID SET - NOT FOR CONSTRUCTION

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| Sheet Revisions |          |
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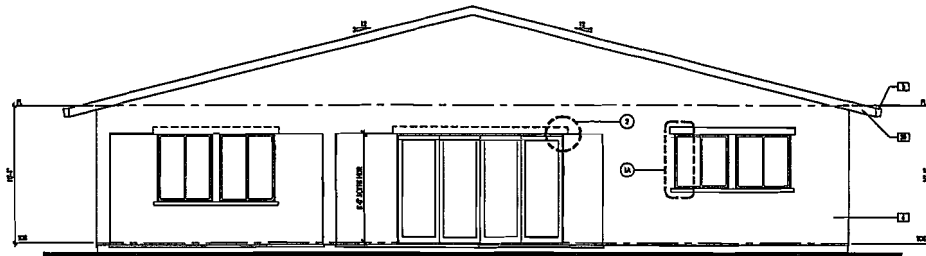
PLAN I (2405)  
 PLAN IX (2674)  
 EXTERIOR ELEVATIONS  
 "A" (FRONT / REAR)

Sheet Number:  
**A5.1**

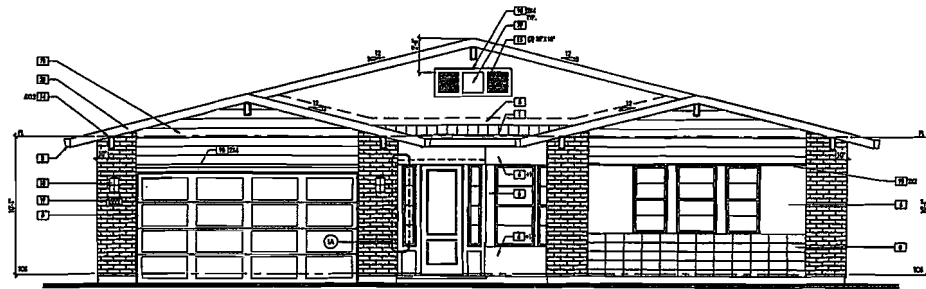
SP 94-0002-R



DATE: 11/15/2016  
 DRAWN BY: JDA  
 CHECKED BY: JDA  
 PROJECT: 2016-0002-R

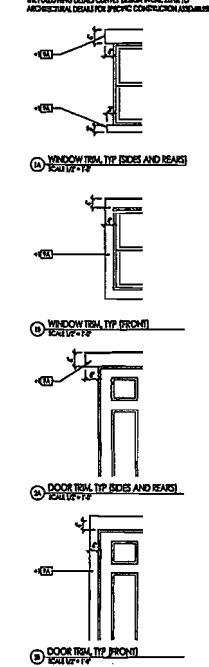


"MID-CENTURY MODERN" (FLAT TILE)  
 REAR ELEVATION "G"  
 1/4" = 1'-0"



"MID-CENTURY MODERN" (FLAT TILE)  
 FRONT ELEVATION "G"  
 1/4" = 1'-0"

Elevation Design Details:



Sheet Notes:

1. METAL AND OTHER FINISHES SHOW ONLY THE APPEARANCE AND SHALL BE SUBJECT TO THE AVAILABILITY OF SUCH MATERIALS. REFER TO SPECIFICATIONS FOR PROBLEMS AND NOTES.
2. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
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Elevation Keynotes:

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Heritage  
 El Dorado Hills 65  
 County of El Dorado, California



2/6/2015 BID SET - NOT FOR CONSTRUCTION  
 JDA Job Number: 14977

| Sheet Revisions |             |
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PLAN 1 (2405)  
 PLAN 1X (2674)  
 EXTERIOR ELEVATIONS  
 "G" (FRONT / REAR)

Sheet Number:  
 A11.1

SP 94-0002-R



















Heritage  
 El Dorado Hills 65  
 County of El Dorado, California

**SP 94-0002-R**



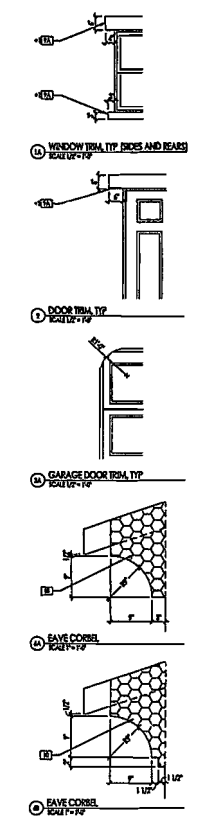
2/6/2015  
 JIDA Job Number: 14077

| Sheet Revisions |                 |
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PLAN 3 (2756)  
 PLAN 3X (3002)  
 3rd of Descriptions  
 EXTERIOR ELEVATIONS  
 "A" (FRONT / REAR)

Sheet Number:  
**A5.1**

**Elevation Design Details:**

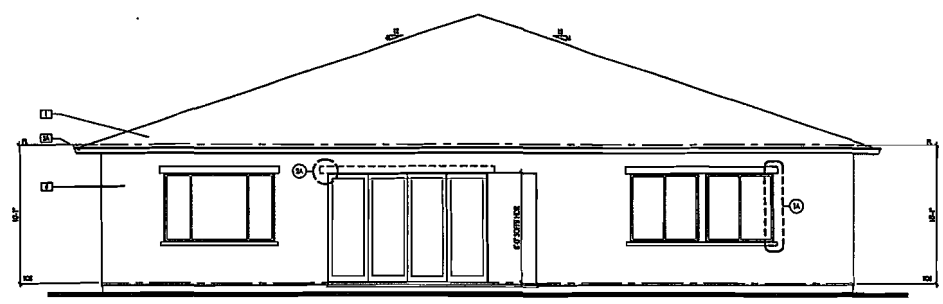


**Sheet Notes:**

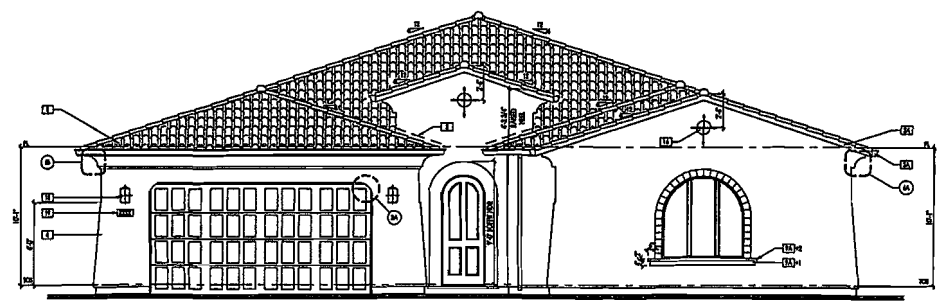
1. FINISH AND OPTION ELEVATIONS SHOW ONLY THE FINISHES AND DETAILS SUBJECT TO THE FINISH OR OPTION ELEVATION. REFER TO THE ELEVATION FOR FINISH AND OPTION DETAILS.
2. WINDOW TRIM, TYP. SIZES AND DETAILS: SEE DETAIL 11.
3. DOOR TRIM, TYP. SIZES AND DETAILS: SEE DETAIL 12.
4. GARAGE DOOR TRIM, TYP. SIZES AND DETAILS: SEE DETAIL 13.
5. EAVE CORNICE: SEE DETAIL 14.
6. EAVE CORNICE: SEE DETAIL 15.

**Elevation Keynotes:**

1. MINIMUM CLASS 15 TYPHOON.
2. FINISH / SURFACE FINISH: A. 2X4 B. 2X6
3. GABLE: A. 1" GYPSUM B. 7/8" GYPSUM
4. DOWNPOUR: 1/2" DIA. PER 1/2" INCH.
5. CORNER BRACKET: ROOF TO WALL FINISH, REFER TO ROOF DETAIL.
6. CORNER BRACKET: TYPICAL 4" FINISH, 2" DIA. DOWNPOUR.
7. EXTERIOR BRICK: COMPOSITE WOOD: A. 1/4" FINISH B. 1/4" FINISH C. 1/4" FINISH D. 1/4" FINISH E. 1/4" FINISH F. 1/4" FINISH
8. EXTERIOR ADHESIVE MOUNTED VINYL SPEC FOR BRICK, HIGH AND FINISH AS NOTED.
9. BRICK: A. BRICK OVER FOAM, 1/2" DIA. B. COMPOSITE WOOD FINISH
10. FINISH WOOD BRACKET: REFER TO EAVE DETAIL FOR INFO REGARDING GYPSUM.
11. SHAVED DECORATIVE CORNICE, PER DESIGN DETAIL: A. 1/2" DIA. FINISH B. WOOD GRAIN FOAM
12. ROOF: A. 1/4" FINISH B. 1/4" FINISH C. 1/4" FINISH D. 1/4" FINISH E. 1/4" FINISH F. 1/4" FINISH
13. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
14. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
15. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
16. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
17. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
18. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
19. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
20. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
21. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.
22. DECORATIVE WOOD GRAIN FOAM: REFER TO DETAIL.



'PASADENA' (BARREL TILE)  
 REAR ELEVATION "A"  
 1/4" = 1'-0"



'PASADENA' (BARREL TILE)  
 FRONT ELEVATION "A"  
 1/4" = 1'-0"

BID SET - NOT FOR CONSTRUCTION





**CARSON CREEK SPECIFIC PLAN**  
**Sections 4.4 – CC6K**

**DRAFT REVISED**  
**STANDARDS**

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**4.4 Single Family (6,000 sq. ft. min.)**

**1. Permitted Uses:**

The following uses are allowed by right, without special use permit:

**Primary Uses:**

One single family detached dwelling per lot

**Accessory Uses:**

Renting of not more than one room

Home Occupations such as accountant, advisor, appraiser, architect, artist, attorney, author, broker dressmaker, draftsman, handicrafts, insurance, photographer, therapist, musician, teacher and other similar occupations normally conducted by mail or telephone on the premises where the activities do not create a traffic problem, provided that instruction or consultation is not given to groups in excess of four and concerts or recitals are not held, and no display of goods is viable from the outside of the property, such use must be carried on in the main building and be incidental to the residential use of the premises and be carried on by a resident of the main dwelling.

In-home daycare, maximum 6 children

Non-commercial accessory uses and buildings, including such structures as a swimming pool, garage, or garden shed

Public utilities distribution lines

Public parks

Churches, temples, and other places of worship

**Uses permitted with a special use permit.** The following uses are permitted only after obtaining a special use permit from the Planning Commission:

Schools, non-commercial playgrounds

Non-profit membership clubs and associations

Public utilities buildings and structures other than distribution and transmission lines

Real estate office on or adjacent to properties for sale or fronting a road leading directly thereto, for the exclusive sale of property

Home occupations not listed above as permitted by right or which require special consideration due to the proposed use of power tools or accessory buildings, or due to potential noise generation. Such home occupations shall not be approved unless the Planning Commission finds that the use will not change the residential character of the premises, and will not adversely affect the other uses permitted in a residential area

Health facility

Community care facility

Senior related facilities including but not limited to congregate care, skilled nursing, assisted living. Public buildings and public utilities buildings of a type and nature deemed compatible with the purposes of this zone by the Planning Director.

## 2. Site Development Standards

**Minimum Lot Area:** 6,000 square feet

**Maximum Lot Coverage:** 50% for single story (including accessory buildings)  
40% for double story

**Minimum Lot Frontage:** Fifty feet (50') at building setback line

**Minimum Setbacks:** Front Yard: Sixteen feet (16') for home or side loaded garages and twenty feet (20') for front loaded garage. Front loaded garages shall be set back a minimum of four feet (4') farther than the rest of the house when the living area portion of the house is located at the minimum front setback of sixteen feet (16').

-Rear Yard: Fifteen feet (15'). Garages must be located in the rear yard setback, but must be located at least three feet (3') from the rear property line. Where garages are facing alleys in the rear of the house, however, the garage may be located on the rear property line.

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-Side Yard: Five feet (5'). Corner lots shall have a minimum twelve and ½ (12.5) feet on street side.

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**Maximum Height:** Thirty feet (30') or 2 stories.

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**Required Parking:** Two (2) spaces off street in a garage plus the equivalent of two (2) spaces on the driveway (tandem or side-by-side). If driveways are not provided, the developer must show that the equivalent of two (2) parking spaces per unit are available in guest parking areas or on the street. Recreational vehicles, boats, or commercial trucks shall not be parked or stored in driveways or in any exterior location on the lot.

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