

## Public Facilities Element

The Northwest El Dorado Hills Specific Plan contemplates the development of residential and commercial uses that will require full public services and infrastructure. Most of the required services and facilities are already in place, or can be provided through the expansion of existing services in the vicinity of the Plan Area. The required services include:

Sewage,  
Water,  
Drainage,  
Park and Recreation Facilities,  
Police Protection  
Fire Protection, and  
Schools

The El Dorado Hills/Salmon Falls Area Plan Policy A-4 states that, "...public facilities shall be considered in light of future development and growth within the Plan Area. Public use facilities, will include the school sites, public buildings, the fire station, "park 'n ride" lots, etc."

Pursuant to the Area Plan policy it is the general policy of this Specific Plan to insure that high levels of services are provided as the area grows and that new services and facilities will be developed for future development. The specific services and facilities required in the Plan Area are addressed as follows:

### Sewer Service

**Current Conditions.** El Dorado Irrigation District (EID) operates and maintains a sewage collection system in the area. Assessment District #3 will provide additional capacity to the existing sewage collection system by means of a series of lift stations, force mains and gravity mains. The effluent will eventually reach the El Dorado Irrigation District main treatment plant south of U.S. Highway 50.

**Current Area Plan Policy:** The El Dorado Hills/Salmon Falls Area Plan states that all parcels one (1) acre in size or less shall be required to be supplied with both public water and sewer service. (Policy A.9)

### Specific Plan Public Facilities Policies: (Sewer Service)

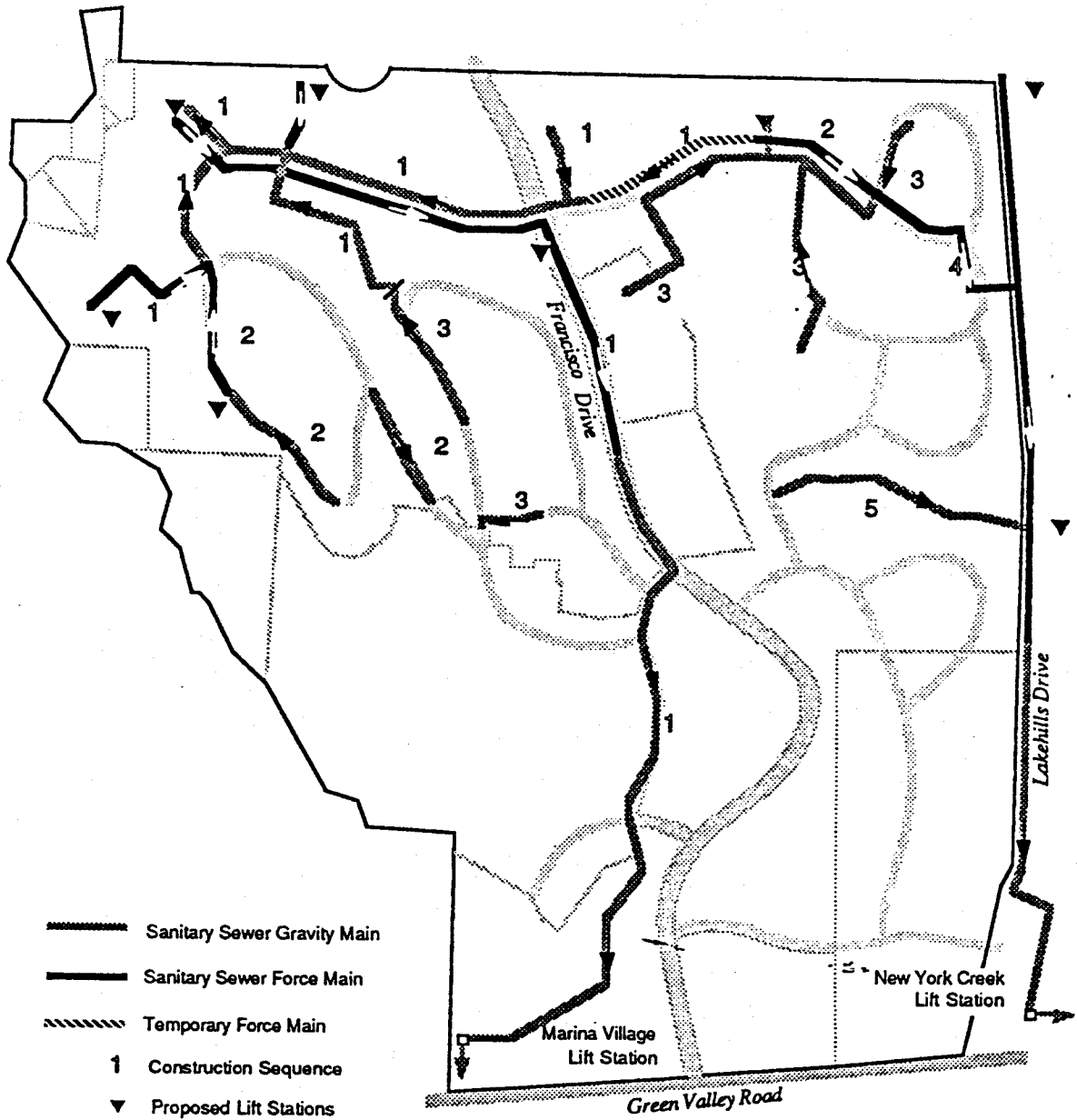
**Policy A.** Extend sewer service to the Plan Area.





**Policy B.** Existing sewer capacity will first be allocated to the various areas of the Plan pursuant to the terms of the formation of Assessment District #3.

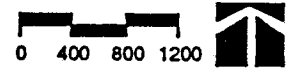
**Policy C.** Financing of the required sewer system improvements will occur pursuant to the terms of the formation of Assessment District #3.

# Sewer Plan

Figure 12



-  Sanitary Sewer Gravity Main
-  Sanitary Sewer Force Main
-  Temporary Force Main
- 1** Construction Sequence
-  Proposed Lift Stations



## Water Service

**Policy D.** Subdivisions shall install oversized and stubbed out sewer facilities as needed to provide adequate sewer service to adjacent properties within the Specific Plan Area and properties within the Guadalupe loop area subject to reimbursement agreements authorized by El Dorado Irrigation District.

**Current Conditions:** The water source for this Plan will be treated water supplied from the El Dorado Irrigation District. A water treatment facility is located approximately in the center of the Plan Area. The water will be supplied to each residential unit by means of a looped public water main system.

The major use of water will be for domestic purposes for residential habitation, the irrigation of play fields and landscape areas and for the neighborhood shopping area.

**Policy A.** Extend water service to the Plan Area.

**Policy B.** Existing water supply will first be allocated to the various areas of the Plan pursuant to the terms of the formation of Assessment District #3.

**Policy C.** Financing of the required water system improvements will occur pursuant to the terms of the formation of Assessment District #3.

**Policy D.** Subdivisions shall install oversized and stubbed-out water facilities as needed to provide adequate water service to adjacent properties within the Specific Plan Area and properties within the Guadalupe area subject to reimbursement agreements authorized by El Dorado Irrigation District.

**Current Conditions:** Tributaries of the South Fork of the American River flow through the northwest portion of the Plan Area and discharge into Folsom Lake as shown on the U.S.G.S., Clarksville Quadrangle map. No adopted, or identified floodplain, exists on these tributaries. Preliminary drainage studies will be made to determine the occurrence of a 100 year event and recommend measures per the criteria established by El Dorado County to protect all building sites from potential flooding.

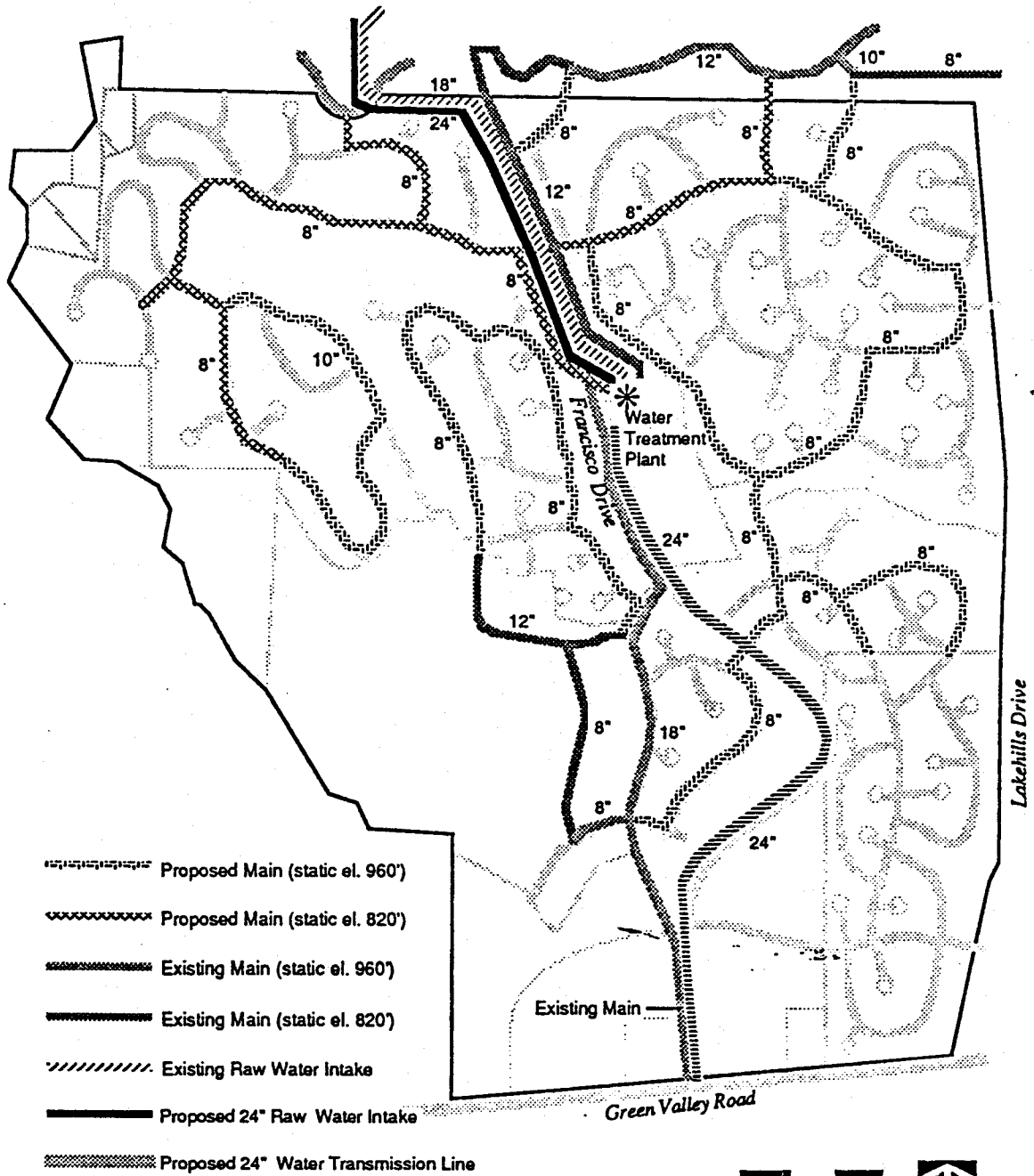
Folsom Lake lies approximately eight hundred feet (800') north and west of the Plan Area. New York Creek lies approximately seventeen hundred feet (1700') east of the Plan Area. It should be emphasized that the Specific Plan area does not contain any wet meadows, marshes or any other perennial wet areas with the exception of a small seasonal drainage in the very northwest corner of the Plan Area. Thorough site examination in both the winter and summer months have verified these findings. Presently existing drainage swales discharge to both Folsom Lake tributaries and New York Creek. The Plan Area is located within the South Fork of the American River and New York Creek drainage shed areas.

## Specific Plan Public Facilities Policies: (Water Service)

## Storm Water Drainage

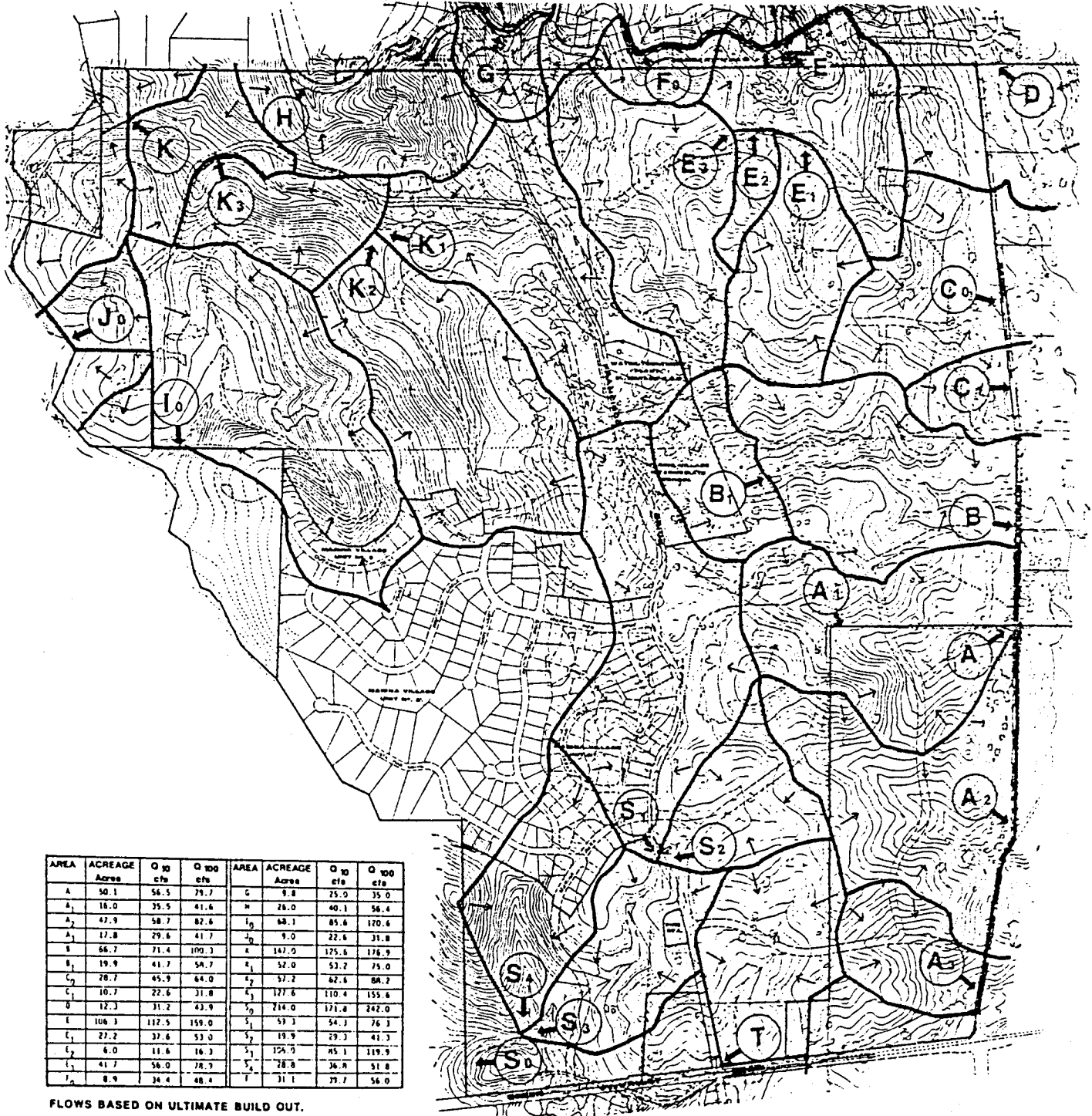
# Water Plan

Figure 13



Northwest  
El Dorado Hills  
Specific Plan

Drainage Plan  
Figure 14



AREA	ACREAGE	Q 10	Q 100	AREA	ACREAGE	Q 10	Q 100
	Acres	cfs	cfs		Acres	cfs	cfs
A	50.1	56.5	79.7	C	8.8	25.0	35.0
A <sub>1</sub>	18.0	35.5	41.6	H	28.0	40.1	56.4
A <sub>2</sub>	47.9	58.7	82.6	I <sub>0</sub>	68.1	85.6	120.6
A <sub>3</sub>	17.8	29.6	41.7	J <sub>0</sub>	9.0	22.6	31.8
B	66.7	71.4	100.3	K	147.0	175.6	176.9
B <sub>1</sub>	19.9	41.7	54.7	K <sub>1</sub>	52.0	53.7	75.0
B <sub>2</sub>	28.7	45.9	64.0	L <sub>1</sub>	57.2	62.6	86.7
C <sub>1</sub>	10.7	22.6	31.8	L <sub>2</sub>	127.8	110.4	155.6
D	12.3	31.2	43.9	M	214.0	171.8	242.0
E	106.3	112.5	159.0	S <sub>1</sub>	59.3	54.3	76.3
E <sub>1</sub>	27.2	37.6	53.0	S <sub>2</sub>	19.9	29.3	41.3
E <sub>2</sub>	6.0	11.6	16.3	S <sub>3</sub>	124.0	45.1	119.9
E <sub>3</sub>	41.7	56.0	78.7	S <sub>4</sub>	78.8	36.8	51.8
F <sub>1</sub>	8.9	34.4	48.4	T	31.1	39.7	56.0

FLows BASED ON ULTIMATE BUILD OUT.

Specific Plan Public  
Facilities Policies  
(Sewer Service)

**Current Area Plan Policies:** The El Dorado Hills/Salmon Falls Area Plan includes a number of general policies directed to minimizing erosion, flooding, and other issues related to drainage.

1. Limit extensive cut and fill grading of land which substantially changes the natural grade and watershed. (Policy A.14a)
2. Limit modification of natural stream beds and flow. (Policy A.14c)

**Policy A.** Provide erosion control during and after all phases of construction. Coordination with the Soils Conservation Service and the County of El Dorado will be necessary to determine erosion protection measures to be used to protect the existing waterways during and after construction. The erosion protection measures may consist of, but are not limited to, hydroseeding of graded areas, straw bale dikes and rip-rap.

**Policy B.** Provide adequate drainage facilities for all phases of development through design and construction of open water courses, through culverts, and road substructure drainage systems. Drainage improvement plans to be approved by the County.

**Policy C.** Prior to any site improvements, the developer shall perform water quality monitoring of drain outlets of the Plan Area to determine quality parameters. Water quality established by this monitoring shall not significantly deteriorate due to site improvements during the construction of subdivision improvements. Water quality monitoring shall be the responsibility of the developer who shall report results of monitoring to the County. If water quality significantly deteriorates, the County shall require additional erosion control practices or other measures to bring water quality to the above established levels.

Park Service

**Current Conditions:** A dedication of land for a park and a school site within the Plan Area was granted several years ago to the El Dorado Hills Community Services District and the Rescue School District, respectively.

The existing park site is located north of the water treatment plant and east of Francisco Drive. It is comprised of 12 acres, and is currently unimproved. An additional "tot lot" park site of 1.4 acres is proposed at the new entry to Marina Village. The purpose of this mini-park is to provide an area west of Francisco Drive, accessible to Marina Village, for child play activities.

Current park development standards in El Dorado County require two acres of community park for each 1,000 persons residing in the area. This requirement is met by the dedication of the two park sites identified in the Specific Plan and a credit for a previous park dedication elsewhere in the El Dorado Hills, Salmon Falls Area Plan. The estimated population of the Plan Area at build-out is 7,052 people, including the existing dwelling units in

Marina Village. This equates to a community park acreage of 14 acres. The Specific Plan includes 10.7 acres and the balance is accounted for in the previous dedication in El Dorado Hills.

**Current Area Plan Policies:** The El Dorado Hills/Salmon Falls Area Plan policy states that the El Dorado Hills Community Service District Recreation Master Plan and the El Dorado County Recreation Element of the General Plan shall be the guideline for future park and trail developments. (Policy E.1)

**Specific Plan Public  
Facilities Policies:  
(Park Service)**

**Policy A.** The 1.4 acre park site shall be offered for dedication to the El Dorado Hills Community Services District for development of a local mini-park. In addition, three parksites of 1 to 2 acres each shall be located within Villages B, E, and F, and shall be offered for dedication concurrently with filing of the final map for that village.

**Policy B.** Properties on the west side of the Specific Plan which are lightly shaded on Figure 15 shall be subject to the parkland dedication in-lieu fees in effect at the time of submittal for development entitlements.

**Policy C.** To provide for continued maintenance of landscaped areas, specifically the landscape corridor and median along the full on-site length of Francisco Drive, as well as village entry points, master Covenants, Conditions, and Restrictions (CC&R's) shall be prepared for Villages A,B,C,D,F and the Village Center to create a Master Owner's Association (MOA) with full maintenance responsibilities of said landscape areas. In addition, CC&R's shall include provisions that if the Master Owner's Association fails to maintain said landscape areas that the El Dorado Hills Community Services District will be allowed to provide the necessary maintenance.

**Police  
Protection**

**Current Conditions:** The Plan Area is within the jurisdiction of the El Dorado County Sheriff-Coroners Office. All services provided by the Sheriff throughout the County are available in the Plan Area.

**Current Area Plan Policy:** The El Dorado Hills/Salmon Falls Area Plan addresses police protection in the general context of Area Plan Policy A-4, cited at the beginning of this Public Facilities Element.

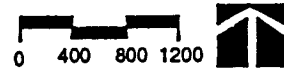
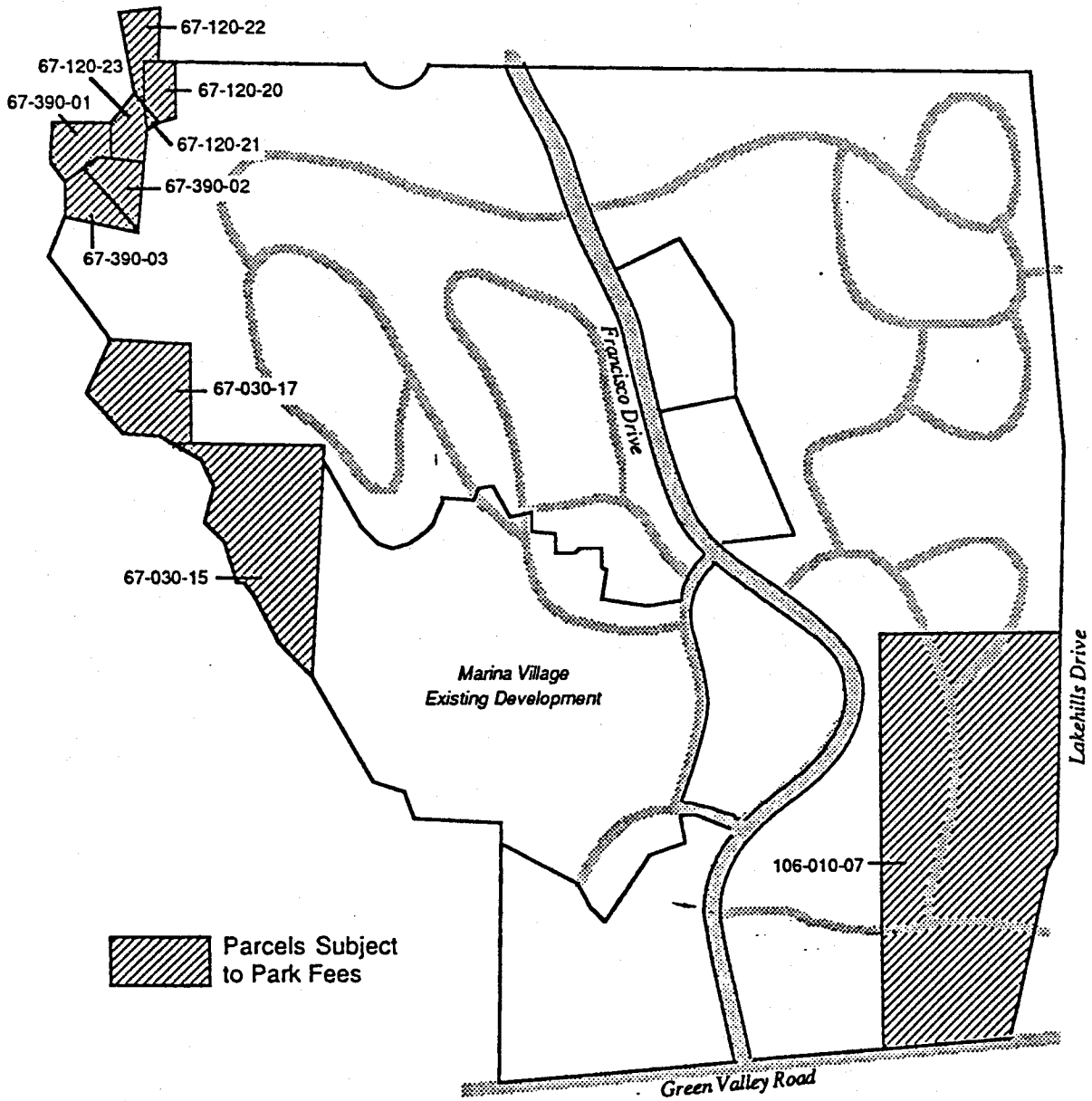
**Specific Plan Public  
Facilities Policies:  
(Police Protection  
Service)**

**Policy A.** Design individual subdivisions, or "villages", to minimize the flow of through traffic.

**Policy B.** Design the parks and community facilities to allow ease of observation by Sheriff's patrols.

# Parcels Subject to Park Fees

Figure 15





## Fire Protection

**Current Conditions:** The existing El Dorado Hills Fire District maintains a station located on Francisco Drive within the Plan Area that provides adequate service to all areas within the Plan Area. The nearest emergency source of water for fire protection purposes is the public water distribution system complete with fire hydrants. Water supply is from the El Dorado Irrigation District's storage tanks located throughout El Dorado Hills.

**Policy A.** The fire protection service need not expand facilities to serve the Plan Area. Fees to provide fire protection services are required by County ordinance and are to be implemented through payment prior to issuance of a building permit.

## Specific Plan Public Facilities Policies (Fire Protection Service)

## Schools

**Current Conditions:** The Rescue Union School District provides educational facilities for grades K-8 in the Plan Area. Marina School, serving grades 7 and 8, is located within the Specific Plan Area on Francisco Drive. Primary school children (grades K-6) are served by the Jackson School located directly south of Green Valley Road. The School District is currently in the process of preparing a new Master Plan. Additional residential development on the western slope may make it necessary in the future to locate a new elementary school somewhere near the Salmon Falls-Green Valley Road area. A site comprised of approximately 8.5 acres is set aside for acquisition by the Rescue Union School District as a K-6 school. The site is contiguous to the existing Marina School.

High school students in the Plan Area are served by the El Dorado Union High School District at the Oak Ridge High School located in El Dorado Hills. Growth projections in the El Dorado Hills/Salmon Falls Area Plan indicate that Oak Ridge High School may reach full capacity and a new high school site located south of Highway 50 may be required.

**Current Area Plan Policies:** The El Dorado Hills/Salmon Falls Area Plan addresses school facilities needs in the general context of Area Plan Policy A-4, cited at the beginning of this Public Facilities Element.

**Policy A.** Designate an additional site of 8.5 acres adjacent to the existing 7-8 school for acquisition by the Rescue Union School District for a K-6 school.

## Specific Plan Public Facilities Policies (Schools)